

AREA PLANS SUB-COMMITTEE SOUTH

11 June 2014

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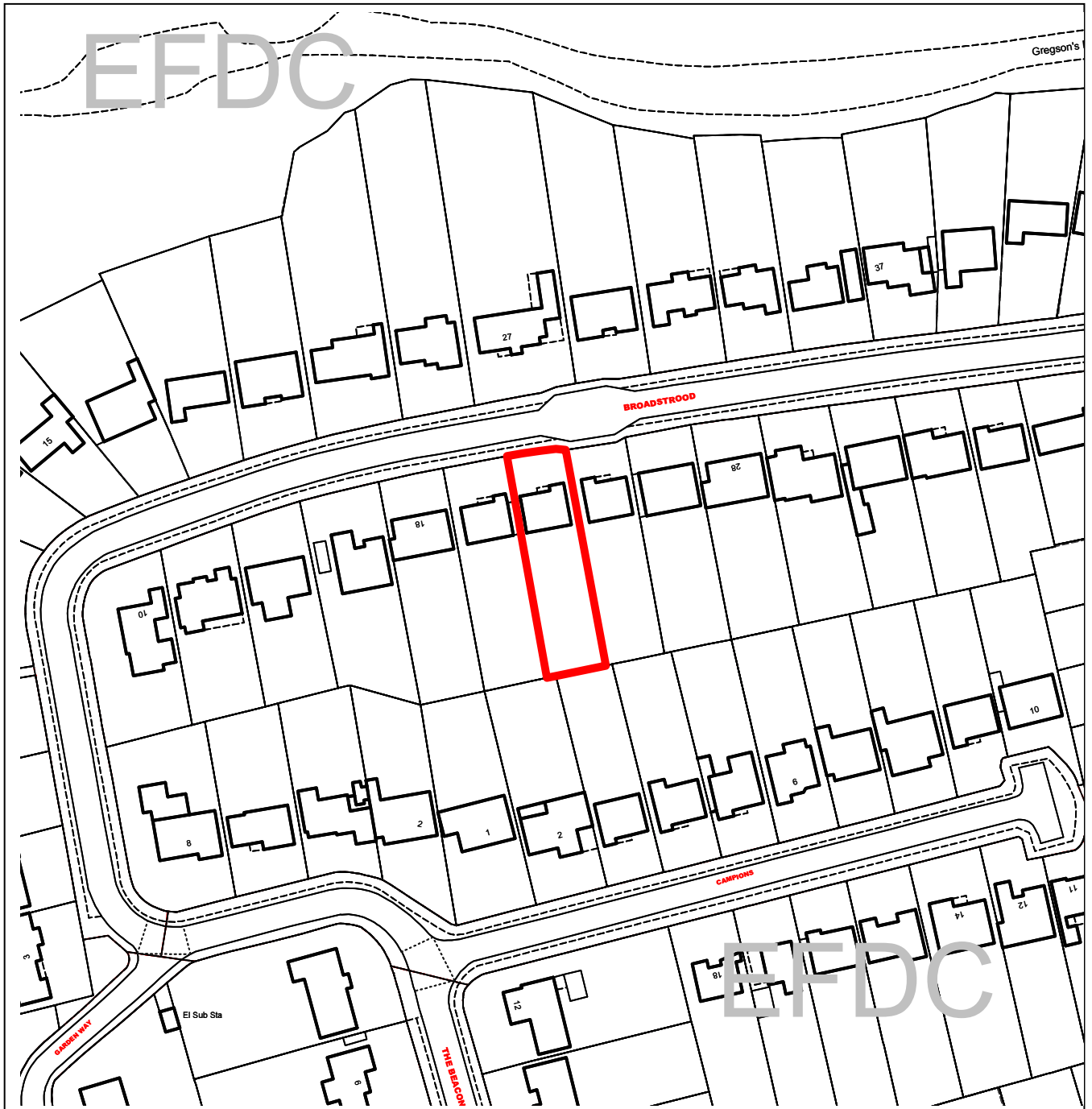
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AGENDA ITEM NUMBER 1



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Application Number:	EPF/2545/13
Site Name:	22 Broadstrood, Loughton IG10 2SB
Scale of Plot:	1/1250

Report Item No: 1

APPLICATION No:	EPF/2545/13
SITE ADDRESS:	22 Broadstrood Loughton Essex IG10 2SB
PARISH:	Loughton
WARD:	Loughton St Johns
APPLICANT:	Mr Peter Ballard
DESCRIPTION OF PROPOSAL:	Two storey rear extension, two storey front porch extension and reconstruction of roof.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=557438

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used for the external finishes of the proposed development shall match those of the existing building, unless otherwise agreed in writing by the Local Planning Authority.
- 3 Prior to first occupation of the development hereby approved, the proposed window openings at first floor in the flank elevations shall be entirely fitted with obscured glass and have fixed frames to a height of 1.7 metres above the floor of the room in which the window is installed and shall be permanently retained in that condition.
- 4 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A.(g))

Description of Site

The site is a detached two storey property fronting onto Broadstrood. Ground level drops from the road side towards the front elevation of the property and continues to drop towards the rear of the site. The site is in the urban Loughton area and is not subject to any TPO's.

The surrounding area is characterised by large detached properties of a variety of traditional designs, further along the street are examples of more modern properties with increased levels of glazing.

The existing property has a single storey side/rear projection used as storage. The neighbouring property at number 20 has a 4.5m deep, two storey rear extension offset from the boundary by 2.2m. This was approved in 2009. The neighbour at number 26 has also received permission for similar rear extensions. The neighbour at number 24 remains largely unaltered.

Description of Proposal

The applicant seeks permission to extend at two storeys to the front and rear, single storey at the rear, alter the existing pitch of the roof and incorporate a rear dormer window and gable feature.

To the rear the proposed extensions would project 3.75m with a further 0.75m adjacent the neighbour at number 20. This would provide further floor space at ground floor and bedroom with an enclosed balcony feature at first floor. The two storey projection is situated adjacent the neighbour at number 20 and a similar extension which is already constructed. The rear elevation would also include a rear dormer window.

The two storey front extension is in the form of a gable projection in the centre of the property.

The roof alterations would include revisions to the pitch to provide better loft accommodation.

The extensions would be used to provide a ground floor family kitchen, extended bedrooms at first floor and a fourth bedroom in the loft space.

A number of revisions to design have been sought as [part of this application and revised plans have been received.

Relevant History

EPF/0708/13 – Two storey front and rear extensions and roof alterations - Refused

Policies Applied

CP2 – Protecting the quality of the built environment
DBE9 – Neighbours amenity
DBE10 – Residential Extensions

Summary of representation:

8 letters were sent out to neighbouring occupiers. Responses received in relation to this application are as follows:

24 BROADSTROOD: Object. Can see the plans have altered slightly but unclear where windows will be situated and this may affect privacy. Depth of extension will still overshadow garden and effect natural daylight to kitchen and lounge and ugly brickwork will now be new view. This should

be reduced further to allow more light. Awaiting a Sun/Shade survey to determine how deep extension can be before affecting natural daylight.

Further letter following revisions: The roof has altered slightly but the extension itself has not been amended. Remain concerned about sunlight as number 26 has already extended by 5m on the other side of my property. Extensions on both sides will cause water retention and damp. The proposals will result in loss of late afternoon sun to my landing window. Existing damp problems will be exacerbated. Object due to loss of view and impact to quality of life as home will be trapped between two extensions. Plans should be reduced further so as not to impact on right to light.

LOUGHTON TOWN COUNCIL: Object to this application due to the double storey rear extension that would cause increased overlooking and loss of privacy, in addition to substantially reducing sunlight to the neighbour at 24.

The Committee also noted with approval the alterations made to the roof line, but was concerned by the excessive overlooking at the rear from the large second floor window and first floor Juliet balcony.

Further comments following revisions:
The Committee reiterated its previous comments.

Issues and Considerations

The main issues for consideration are impacts to the street scene and neighbouring amenity. Parking and landscaping matters would remain unchanged as this application relates to extensions only.

The previous application was refused for the following reasons:

- 1) The proposed height, depth, proximity to boundaries and design of the two storey rear extension results in an unacceptably dominant and overbearing structure when viewed from the neighbouring property at 24 Broadstrood, to the detriment of neighbouring amenity and contrary to the objectives of policy DBE9 of the Adopted Local Plan and Alterations and the NPPF.
- 2) The proposed rear projection is of a greater height than the main ridge, resulting in a poorly designed roof form that would be visible from the street, out of character with the main property and the surrounding area and contrary to the aims and objectives of policies CP2 and DBE10 of the Adopted Local Plan and Alterations and the NPPF.
- 3) The plans provided are inaccurate. The street scene plan fails to represent the neighbouring properties accurately and as such prohibits clear comparison of the proposed extensions, particularly in relation to alterations to the roof. The plan also fails to accurately demonstrate the drop in ground level between the road and the front elevation of the properties. The application therefore fails to demonstrate that the proposals will not result in adverse impact to the street scene contrary to the aims and objectives of policies CP2, DBE9 and DBE10 of the Adopted Local Plan and Alterations and the NPPF.

Street scene

The present application has made significant revisions to the way the dwelling would appear from the street. The front gable feature has been reduced and now has an improved relationship with the main body of the roof. The rear extensions are no longer visible above the ridge height and the angle of pitch of the hipped roof has been improved. Revisions have also included changes and improvements to the window positioning. As a result, whilst the design would incorporate modern features, this would not be unduly intrusive given other more modern properties in the immediate

locality. From the street the scale and design of the property would not appear out of character in the local area.

Neighbouring amenity

The revised scheme results in reductions in the depth of the rear projection to less than the 4m which is usually provided. The greater depth and two storey rear projection is situated on the boundary with the neighbouring property at 20 Broadstrood. This revision sets the projection away from the neighbour at number 20 by the greatest amount possible. The owner has incorporated more modern features into the rear projection, finishing with an enclosed balcony at first floor and a large glazed feature in the gable end. Whilst not commonplace this is not unacceptable. The enclosed balcony would afford no greater outlook than a typical large window as it is enclosed by structural walls on all sides. The glazed feature in the gable also affords no greater outlook than any usual window, albeit the extent of glazing does lend to a perception of greater overlooking. This is not considered sufficient to have a significant impact on neighbouring living conditions.

The proposals comfortably achieve a 45 degree angle of outlook from rear windows of neighbouring properties. Properties on this side of Broadstrood benefit from south facing gardens, meaning the rear elevations of the properties benefit from direct sun throughout the day.

The neighbouring concerns from number 24 are noted, however as the proposals accord with policy requirements, and the rear of the site is south facing, the impacts from the scheme would not be significant. Any development will result in impacts, however policy DBE9 requires significant adverse impact on neighbouring living conditions in order to justify a refusal. Officers consider the revised scheme not to have significant adverse impacts.

Comparison with previous reasons for refusal

The revised scheme has reduced the height and depth of the rear projection and now positions this projection on the opposite boundary next to extensions at number 20. This addresses the harmful impacts to the neighbour at number 24. The revised plans rectify issues relating to the roof form and the street scene and indeed the current application comprises accurate plans. As such, previous Officer concerns have been overcome.

Conclusion

Mindful of the above, Officers recommend the revised application be approved now that issues relating to neighbouring living conditions and street scene have been overcome.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: Jenny Cordell
Direct Line Telephone Number: 01992 564481***

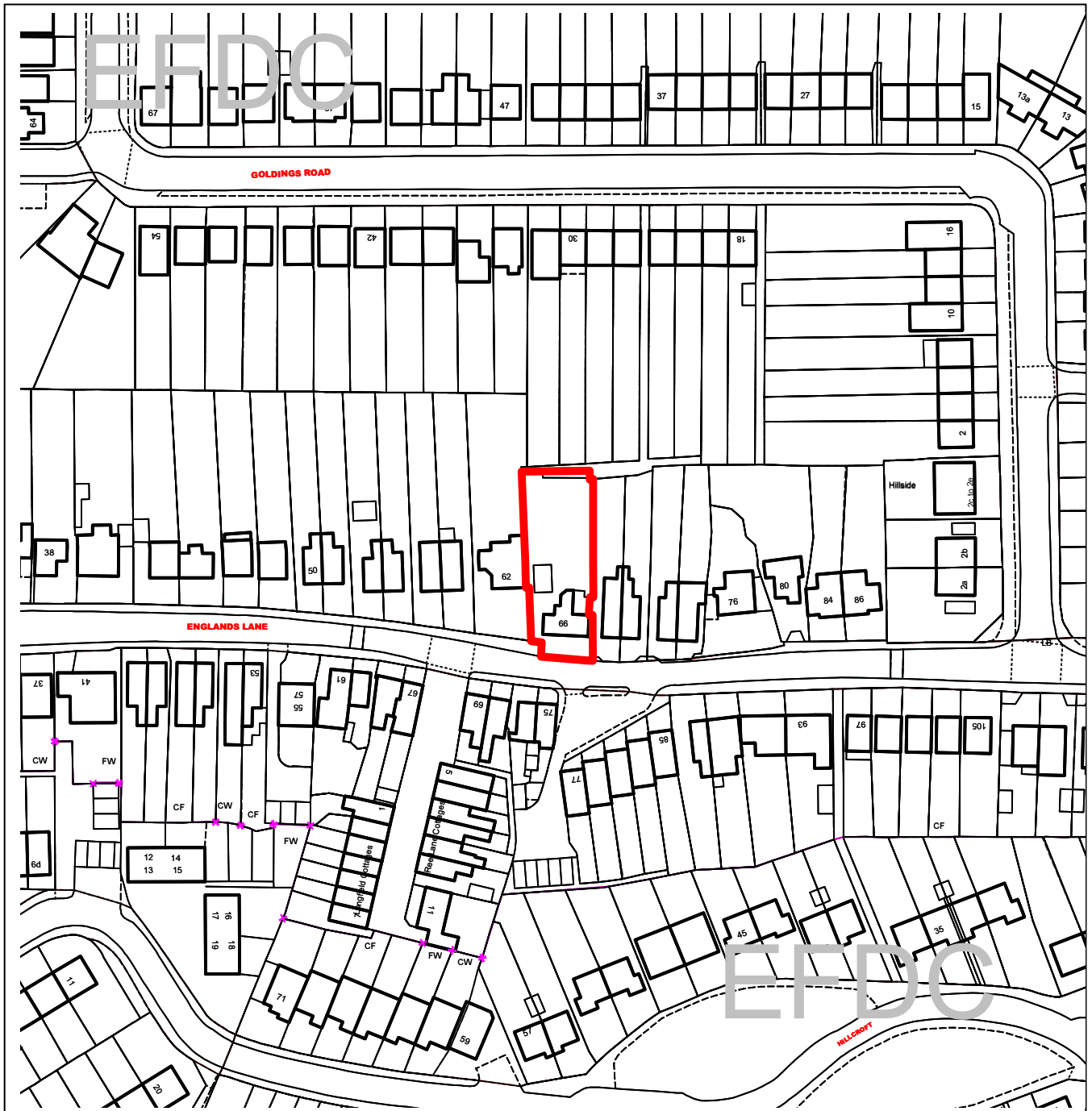
or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk

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AGENDA ITEM NUMBER 2



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Application Number:	EPF/2649/13
Site Name:	66 Englands Lane, Loughton IG10 2QQ
Scale of Plot:	1/1250

Report Item No: 2

APPLICATION No:	EPF/2649/13
SITE ADDRESS:	66 Englands Lane Loughton Essex IG10 2QQ
PARISH:	Loughton
WARD:	Loughton St Johns
APPLICANT:	Mr Martin Rigg
DESCRIPTION OF PROPOSAL:	Demolition of existing house and erection of 2 x 3 bedroom two storey houses and 2 parking spaces
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=557933

CONDITIONS

- 1 The development hereby permitted will be completed strictly in accordance with the approved drawings nos:
Site Plan
ksd/14/15/01
ksd/14/15/02
MDP.RG/01 rev A
MDP.RG/02 rev A1
MDP.RG/03
- 2 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 3 No construction works above ground level shall take place until documentary and photographic details of the types and colours of the external finishes have been submitted to and approved by the Local Planning Authority, in writing. The development shall be implemented in accordance with such approved details.
- 4 Prior to the commencement of either of the houses hereby permitted, details of any screen walls, fences, or similar structures shall be submitted to and approved in writing by the Local Planning Authority and the the development shall only be implemented and maintained thereafter, in accordance with the approved details.
- 5 Prior to first occupation of the development hereby approved, the proposed window openings in the flank elevations at first floor shall be entirely fitted with obscured glass and have fixed frames to a height of 1.7 metres above the floor of the room in which the window is installed and shall be permanently retained in that condition.

- 6 No development shall take place, including site clearance or other preparatory work, until full details of both hard and soft landscape works (including tree planting) and implementation programme (linked to the development schedule) have been submitted to an approved in writing by the Local Planning Authority. These works shall be carried out as approved. The hard landscaping details shall include, as appropriate, and in addition to details of existing features to be retained: proposed finished levels or contours; means of enclosure; car parking layouts; other minor artefacts and structures, including signs and lighting and functional services above and below ground. The details of soft landscape works shall include plans for planting or establishment by any means and full written specifications and schedules of plants, including species, plant sizes and proposed numbers /densities where appropriate. If within a period of five years from the date of the planting or establishment of any tree, or shrub or plant, that tree, shrub, or plant or any replacement is removed, uprooted or destroyed or dies or becomes seriously damaged or defective another tree or shrub, or plant of the same species and size as that originally planted shall be planted at the same place, unless the Local Planning Authority gives its written consent to any variation.
- 7 Notwithstanding the provisions of the Town and Country Planning General Permitted Development Order 1995 as amended (or any other Order revoking, further amending or re-enacting that Order) no extensions, enlargements of the roof or outbuildings in with a volume in excess of 10 cubic metres generally permitted by virtue of Classes A,B and E of Part 1 of Schedule 2 to the Order shall be undertaken without the prior written permission of the Local Planning Authority.
- 8 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since it is for a type of development that cannot be determined by Officers if more than two objections material to the planning merits of the proposal to be approved are received (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A.(f).)

Description of Site:

The application site is a detached, double bay fronted, two storey house. The house is set forward of the neighbouring house at number 62 Englands Lane but in line with that at number 68 Englands Lane. The house has a detached garage on the western side of the plot to the rear of the house.

The property maintains mature heavily pollarded lime trees to the front of the site.

The site is in the urban Loughton area, not in the Green Belt and is not in any Conservation Area.

Description of Proposal:

The applicant seeks planning permission to demolish the existing house and garage and erect a semi-detached pair of houses. The footprint of the pair of houses would be staggered with the house nearest number 62 being set back from the road.

The houses would each provide ground floor family accommodation, three bedrooms at first floor and additional rooms in the loft. Each plot would provide a single parking space to the front and a garden to the rear.

The application before members is a resubmission of a scheme previously refused under decision ref EPF/0296/08. The plans are unchanged except to make the parking bays the size required by current standards. The previous refusal was overturned at Appeal.

Relevant History:

EPF/2647/07 – Demolition of existing house and erection of 2x3 bedroom houses and 2 parking spaces – Refused

EPF/0296/08 – Demolition of existing house and erection of 2x3 bedroom houses and 2 parking spaces – Refused and allowed at appeal.

Policies Applied:

All of the policies listed below are compliant with the aims, objectives and policies contained within the NPPF.

CP1, 3, 6 & 7 Core Policies re sustainable development

H1A, H2A, H3A, H4A Housing Provision

DBE 1, 2 Design of new buildings

ST4 & 6 Highways & Parking

DBE 6 Parking

DBE 8 Amenity Space

DBE 9 Amenity for neighbours

LL10 Landscaping

Summary of Representations:

16 neighbouring properties were notified. 4 properties responded as follows:

70 ENGLANDS LANE: Object due to inadequate parking, the size of the plot proposed being smaller than similar developments refused elsewhere recently (48 Church Lane), overlooking and loss of light in this garden grabbing development.

69 ENGLANDS LANE: Object due to highway and traffic concerns and issues relating to pedestrian safety. Loss of the 1901 character house and impact on the character and appearance of the street and loss of local history. Also object to over crowding and over development in an area already under parking pressure. Surprised the application has been resubmitted given refusal not long ago.

62 ENGLANDS LANE: Object due to concerns regarding asbestos in the construction of the existing property. Hedging should be retained and construction should be mindful of nesting birds. Development could potentially damage our driveway.

LOUGHTON TOWN COUNCIL: The Committee would prefer to retain the existing period house which it considered was more in keeping with this road. However, if the District Council was minded to grant permission for its replacement, Members would like the proposed ridgeline to be no higher than the properties of no's 68-70 England's Lane.

The Committee also requested conditions to protect the amenities of the neighbours during construction.

Issues and Considerations:

The main issues to be considered when considering this application are whether there is sufficient change to the application or to circumstance, to justify a different decision to that issued by the Planning Inspector. The approval issued by the Planning Inspector has significant weight when determining this application.

Design

The design and associated impact to local character is unchanged from that previously considered by the Planning Inspector. The loss of character from the demolition of the existing building was assessed and the Inspector concluded due to the scale and with suitable materials, 'the development would sit comfortably in the street scene'.

Neighbouring Impacts

The impact to neighbouring properties is unchanged from that previously considered by the Planning Inspector. The Inspector previously concluded that the living conditions of neighbouring properties would not be harmed.

Neighbours are concerned regarding asbestos and nesting birds but these issues are dealt with under separate legislation in Health and Safety, Hazardous substances and the Wildlife and Countryside Act. A contaminated land condition would not be appropriate for demolition issues only as this would carry out ground investigations and would not be relevant.

Parking

The parking bay sizes have been revised and it has been determined that the trees on the front of the site cannot be retained with the larger parking bays.

The provision of a single space per dwelling in an urban area is not unacceptable.

Landscaping

The loss of the trees, though regrettable, has not been resisted by the Council's landscaping Officer. Instead replanting should be achieved through a landscaping condition, in accordance with the Arboricultural Report provided by the applicant. The Planning Inspector was dubious in 2008 that the trees could be retained, but was not concerned suggesting instead a landscaping condition to secure appropriate replanting.

The Landscaping Officer declined to issue a TPO on the trees.

Conclusion:

Whilst the proposals are understood to raise concerns with neighbouring properties, the scale and form of the structure is unchanged from that already considered acceptable by the Planning Inspector. In order to issue a differing decision the Council would have to demonstrate sufficient justification in the form of material change in circumstances or demonstrable new harmful impacts from the proposals.

In this instance the application is largely unchanged and there has been no change in circumstance that would justify a refusal.

National Policy has been revised following the previous decision. The NPPF incorporates a presumption in favour of sustainable development. There is no change in National policy that would give cause to consider a differing recommendation. Indeed, National policy is now more favourable to the proposed development.

Mindful of the above, approval is recommended subject to broadly the same conditions as imposed on the Appeal Decision. Since the appeal was issued it is no longer necessary to control

the insertion of additional flank windows by condition as this now requires consent where they are not obscure glazed with fixed frames. Landscaping conditions have become more condensed so may be dealt with as one condition. Use of pitched roofs as a terrace does not arise and would require further consent as it would be a change to the roof, however with current permitted development tolerances so generous, it is reasonable to withdraw permitted development allowances in the interests of safeguarding the living conditions of neighbours and the appearance of the locality.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

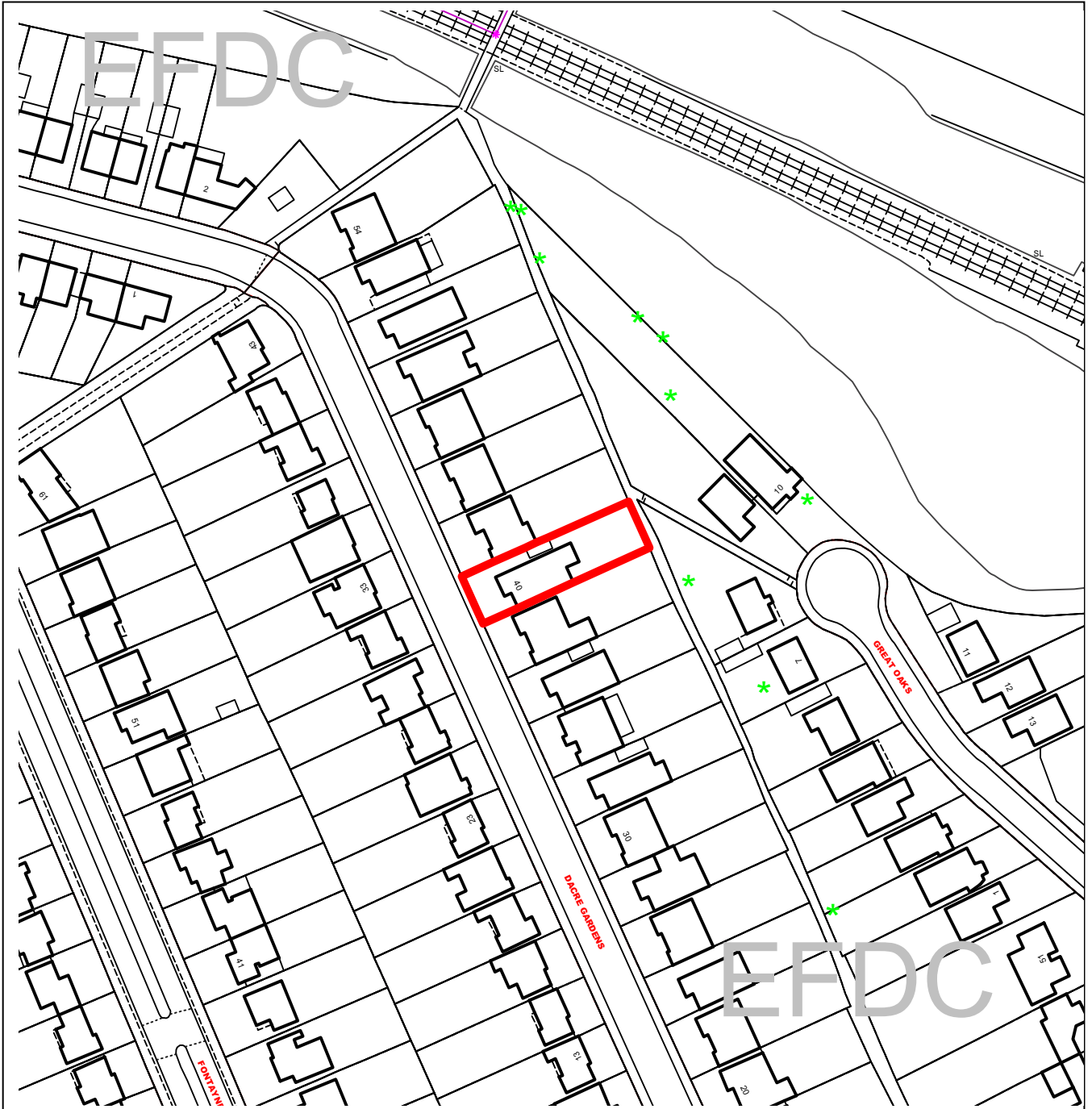
***Planning Application Case Officer: Jenny Cordell
Direct Line Telephone Number: 01992 574481***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



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AGENDA ITEM NUMBER 3



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Application Number:	EPF/0359/14
Site Name:	40 Dacre Gardens, Chigwell IG7 5HG
Scale of Plot:	1/1250

Report Item No: 3

APPLICATION No:	EPF/0359/14
SITE ADDRESS:	40 Dacre Gardens Chigwell Essex IG7 5HG
PARISH:	Chigwell
WARD:	Grange Hill
APPLICANT:	Mr Athik Miah
DESCRIPTION OF PROPOSAL:	Demolish existing rear extension, erection of side and rear extension and proposed loft conversion with two front dormers and side and rear dormer. (Revised application to EPF/2536/13)
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=560105

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used for the external finishes of the proposed development shall match those of the existing building, unless otherwise agreed in writing by the Local Planning Authority.
- 3 The development hereby permitted will be completed strictly in accordance with the approved drawing number 03 dated May 2014, together with a 1/1250 site location plan.
- 4 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee because the recommendation for approval is contrary to an objection from a local council which is material to the planning merits of the proposal, pursuant to the 'constitution, part three: planning directorate – delegation of council function, schedule 1, appendix A(g).

Description of Site:

A bungalow in a line of other bungalows, some of which have been extended, for example, to create a first floor accommodation with dormer windows. The property is not listed nor does it lie in a conservation area.

Description of Proposal:

Demolition of existing rear extension, erection of side and rear extension, and proposed loft conversion with two front dormers and side and rear dormer (Revised application to EPF/2536/13).

Relevant History:

EPF/2535/13 – a certificate of lawful development application for side and rear dormers. This proposal was not lawful because the side facing dormer windows were not designed to be of obscure glazing with an opening section only above 1.7m floor level.

EPF/2539/13 – was a permitted development application for a rear extension - for which prior approval was not required.

EPF/2536/13 – was a refusal of permission for a similar development to that now proposed in this application – on grounds that the depth of the rear extension next to the boundary with number 42 was excessive.

Policies Applied:

DBE9 - Loss of amenity.

DBE10 – Residential extensions.

These two policies are compliant with the NPPF.

Summary of Representations:

CHIGWELL PARISH COUNCIL – objection – there is insufficient information with the plans to judge the work proposed.

NEIGHBOURS – 4 properties consulted and no replies received.

Issues and Considerations:

The rear extension has now been reduced by 1.9m next to the boundary with number 42, and the extension now projects 3.2m beyond the main rear wall. This reduction reduces the impact on amenity and outlook to number 42 to an acceptable level.

The side extension to this dwelling is satisfactory and the front section of it lies 0.9m from the boundary - which reduces any cramping effect.

Two small front dormers are proposed in the extended roof. There are other dormers in the street, and the proposed dormers are not only small but have an acceptable design with small gable roofs over. As a result they will complement visual amenity in the street scene.

A side facing dormer is proposed in which the 2 windows are obscured glazed with opening parts above 1.7m above the floor level. Consequently any potential overlooking will not be caused.

A rear dormer is also proposed, and as with the side dormer it has a small hipped roof feature just below the crown of the main roof. The design of these dormers is satisfactory.

Comments on representations received:-

With regard to the Parish Council objection the submitted plans do show proposed elevations and plans on the same drawing as existing elevations and plans - and it is reasonably clear what is proposed. However, it is acknowledged that some proposed plans and elevations use shaded or coloured areas to denote the new work proposed.

Conclusions:

The proposed extensions result in an enlarged dwelling which is similar to other extended bungalows in the road. The application has not given rise to neighbour objections, and with the amendments made it is an acceptable scheme and consequently conditional planning permission is recommended.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: David Baker
Direct Line Telephone Number: 01992 564514***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



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AGENDA ITEM NUMBER 4



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Application Number:	EPF/0515/14
Site Name:	20 Maple Close, Buckhurst Hill IG9 6HW
Scale of Plot:	1/1250

Report Item No: 4

APPLICATION No:	EPF/0515/14
SITE ADDRESS:	20 Maple Close Buckhurst Hill Essex IG9 6HW
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill East
APPLICANT:	Ms Penny Cornhill
DESCRIPTION OF PROPOSAL:	New end of terrace 4 bed house built on side garden, and two storey and single storey rear extension built on existing house. (Revised application to EPF/2637/13)
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=560811

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 No construction works above ground level shall take place until documentary and photographic details of the types and colours of the external finishes have been submitted to and approved by the Local Planning Authority, in writing. The development shall be implemented in accordance with such approved details.
- 3 Notwithstanding the provisions of the Town and Country Planning General Permitted Development Order 1995 as amended no extensions to the house hereby approved that are generally permitted by virtue of Class A of Part 1 of Schedule 2 to the Order shall be undertaken without the prior written permission of the Local Planning Authority.
- 4 No development shall take place until wheel washing or other cleaning facilities for vehicles leaving the site during construction works have been installed in accordance with details which shall be submitted to and agreed in writing by the Local Planning Authority. The approved installed cleaning facilities shall be used to clean vehicles immediately before leaving the site.
- 5 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

- 6 All material excavated from the below ground works hereby approved shall be removed from the site unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of site

Maple Close is a cul-de-sac located within the built up area of Buckhurst Hill. No.20 is a two storey end of terrace property with its principal elevation fronting onto Maple Close and side elevation fronting onto Buckhurst Way. Currently the property has a single storey side extension which is used as a garage. The application site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of proposal

The proposed development is for a part single, part two storey rear extension to no.20. The two storey element will be set 2.4m from the boundary with no.18 and will be 3m off the existing rear wall and have a maximum height of 7m. The single storey element is set on the boundary to no.18. It will have a depth of 4m and a maximum height of 3m.

The application is also for the erection of a new dwelling house to the side of the property. This involves separating the curtilage of the existing dwelling into half to give approximately equal amenity space for the new and host dwelling. The new house will be two storeys high and extend to the boundary, fronting onto Buckhurst Way. The rear building line of the property will be two storeys high and will mirror the depth of the proposed extension of the host dwelling in this application. Access to the property will be from Maple Close.

Relevant History

EPF/0947/91 - Erection of a two storey side extension – Approved

Policies Applied

CP2 – Protecting the Quality of the Rural and Built Environment
DBE1 – Design of Residential outbuildings
DBE9 – Impact on amenity

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policies are broadly consistent with the NPPF and should therefore be given appropriate weight

Consultation carried out and summary of representations received

13 Neighbours consulted – No comments received

BUCKHURST HILL PARISH COUNCIL – OBJECTION – Overdevelopment of site, Effect on neighbouring property: overlooking and overbearing. Spoils symmetry of itself and adjacent property.

Issues and Considerations

The main issues to consider when assessing this application are the effects of the proposal on the living conditions of neighbours, parking issues and the design of the proposal in regards to the existing building and its setting

Neighbour Amenity

Proposed rear extension

The first floor element of the rear extension leaves a reasonable gap of 2.4m from the shared boundary with no.18. A line taken from the centre of the nearest first floor habitable room window is not intercepted; as such the extension will not appear overbearing when viewed from the neighbouring property. Given its significant separation from the boundary there will also be no loss of light. The single storey element extends to the boundary with no.18, however it is the same height as the neighbour's extension and has the same projection from the rear elevation. Therefore it is concluded that there will be no harm to the living conditions of no.18 as a result of this development.

Proposed new dwelling

Buckhurst Hill Parish Council have expressed concern that the new dwelling will appear overbearing and cause overlooking into private areas of neighbouring dwellings. However, the first floor rear building line will be exactly the same size as the host dwelling's extension through this application. As such the dwelling will not appear overbearing to no.20 or allow any overlooking into private areas of the dwelling.

Were the dwelling to be approved, it is acknowledged that it could be extended further through permitted development rights. This could excessively add to its built form, to the detriment of the living conditions of no.20. Therefore it is reasonable and necessary to remove Class A permitted development rights to allow the Council the ability to control development at the site.

Design

Proposed rear extension

The rear extension is of a conventional design which respects the existing building. Furthermore it will not be visible from public viewpoints and therefore is appropriate.

Proposed new dwelling

The new dwelling is of a conventional design which will mirror the size and dimension of the host property. The eaves and ridge height will also be exactly the same as the host property and therefore will not appear overly prominent when viewed from public areas of the locality. It is acknowledged that the property extends to the boundary fronting Buckhurst Way and this will be particularly prominent when viewed from public viewpoints. However, there is a very similar example of a new dwelling set up to the boundary at Lime Close, which is the next road along from the site. Therefore the dwelling will not appear excessively overbearing from the street scene.

Parking Issues

Maple Close is a heavily parked location at peak times. However the new dwelling has enough room for two cars to park off road and therefore there are no parking concerns.

Conclusion

The application demonstrates compliance with all the relevant policies and therefore it is recommended that planning permission is granted.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 103***

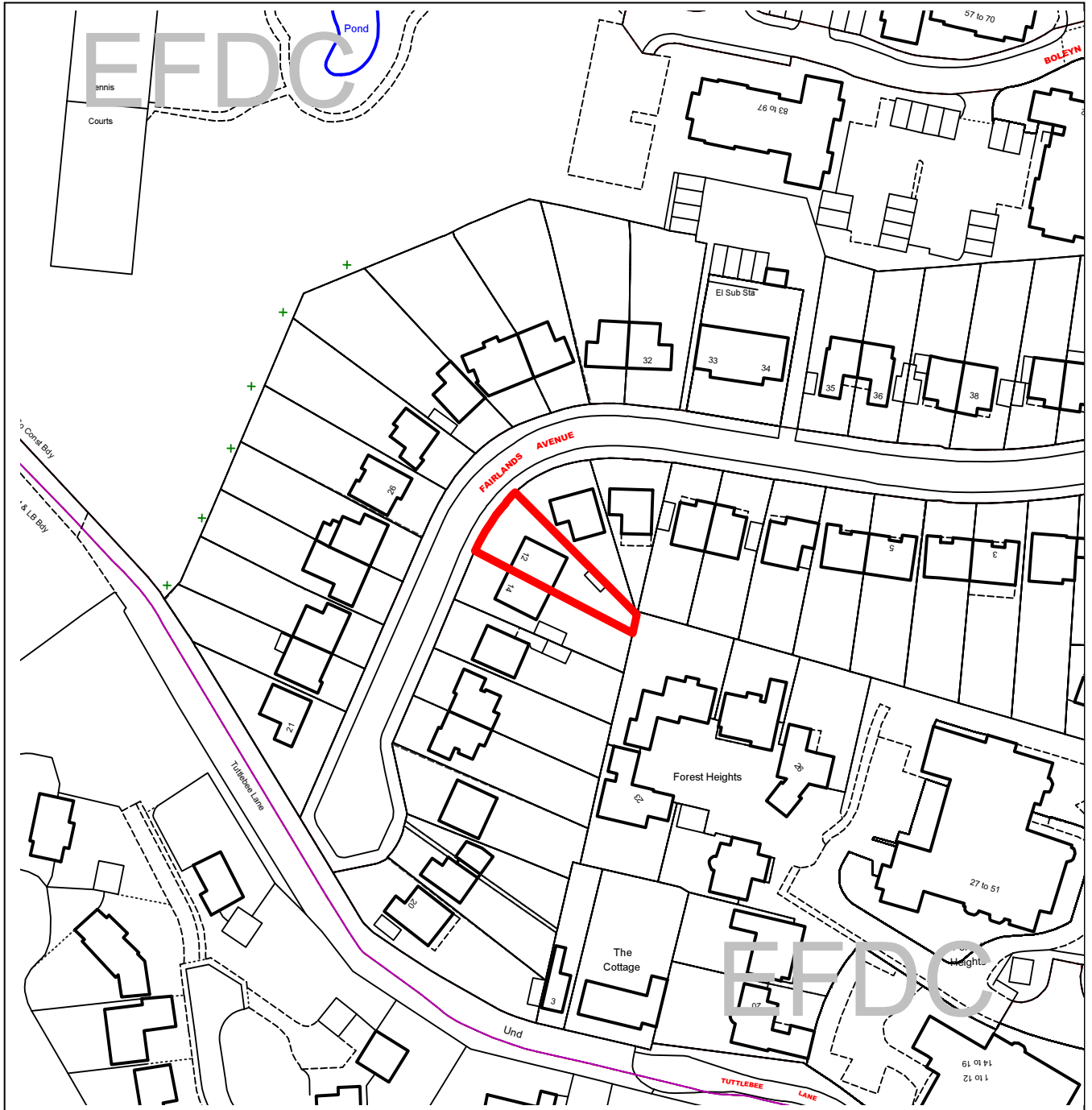
or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk

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Epping Forest District Council

AGENDA ITEM NUMBER 5



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Application Number:	EPF/0518/14
Site Name:	12 Fairlands Avenue, Buckhurst Hill IG9 5TF
Scale of Plot:	1/1250

Report Item No: 5

APPLICATION No:	EPF/0518/14
SITE ADDRESS:	12 Fairlands Avenue Buckhurst Hill Essex IG9 5TF
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill West
APPLICANT:	Mr & Mrs Pemberton
DESCRIPTION OF PROPOSAL:	Part single, part two storey side extension.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniTelM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=560832

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used for the external finishes of the proposed development shall match those of the existing building, unless otherwise agreed in writing by the Local Planning Authority.
- 3 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A.(g))

Description of Site:

The application property is a two-storey semi detached house with a hipped roof that descends to ground floor on the side elevation. It is not listed or within a conservation area.

Fairlands Avenue is a cul-de-sac. The site is situated on the inside of a sharp bend in the road. Land falls gently to the south and rises significantly to the east and northeast.

The attached neighbour, no. 14 Fairlands Avenue, has a full depth side dormer with a flat roof. The detached neighbour, no 11, is extended with planning permission for two storeys to the side

and has a single-storey addition to the rear. The nearest rear facing first floor window is obscure glazed.

Description of Proposal:

It is proposed to erect a part single, part two-storey side extension.

The extension would extend across part of the depth of the house, with its rear wall set 1.5m forward of that of the main house. At the front elevation the ground floor of the extension would be set 2m from the boundary with 11 Fairlands Avenue while the first floor would be set 3m from the boundary. The front wall of the extension would align with that of the existing house and the roof of the greater two-storey element would be hipped. There would be no upper level windows in the flank elevation and external materials would match those of the existing house.

Relevant History:

None

Policies Applied:

CP2	Quality of Rural and Built Environment
DBE9	Loss of Amenity
DBE10	Residential Extensions

NPPF

Consultation Carried Out and Summary of Representations Received

Number of neighbours consulted. 3
Site notice posted: No, not required
Responses received: No response received from neighbours.

BUCKHURST HILL PARISH COUNCIL:

OBJECTION

Overdevelopment of site
Effect on neighbouring property: overlooking and overbearing
Spoils symmetry of itself and adjacent property”

Main Issues and Considerations:

Design:

The proposal would complement the design of the existing house.

The roof of the extension would be somewhat recessed beyond the front roof slope of the existing roof of the house, which projects over a two-storey bay on the front elevation. As a consequence the main roof form of the existing house would continue to be prominent. That is an important remaining component of the original symmetry of the pair of semi-detached houses, which has been significantly eroded by the full depth box dormer erected on the side roof slope of the attached neighbour. Its retention, together with that of the front bay, would ensure there remains a strong visual connection with the attached neighbour, preserving the degree of symmetry that remains. In this respect the extension would complement the design of the existing house and the pair of houses as a whole.

The distance the extension would be set from the boundary with the detached neighbour, 2m at ground floor and 3m at first floor, is more than sufficient to maintain good visual separation between the houses. That degree of separation is enhanced by the difference in levels between the two houses, which is significant. As a consequence the proposal would not appear cramped within the site and would respect the established pattern of development in the street.

Living Conditions:

The proposal would safeguard the living conditions of neighbours. The only neighbour whose living conditions could be affected by the extension is 11 Fairlands Avenue.

On the face of it the proposal has the potential to appear overbearing when seen from the detached neighbour, no. 11. That potential arises from the relation of the houses to each other due to their siting on the inside of a sharp bend in the road. However, no 11 is situated on significantly higher ground with robust boundary treatment. That fact together with the fact that the proposal would be set in from the boundary overcomes that potential. Therefore the proposed extension would not appear overbearing when seen from 11 Fairlands Avenue.

Since no upper level flank windows would be provided in the proposed extension it does not have any potential to give rise to overlooking of 11 Fairlands Avenue.

Conclusion:

Since the proposal is acceptable in design terms and would cause no harm to the living conditions of neighbours it complies with relevant planning policy and it is recommended that planning permission be granted

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: Stephan Solon
Direct Line Telephone Number: 01992 564018***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



Epping Forest District Council

AGENDA ITEM NUMBER 6



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Application Number:	EPF/0520/14
Site Name:	3 Scotland Road, Buckhurst Hill IG9 5NP
Scale of Plot:	1/1250

Report Item No: 6

APPLICATION No:	EPF/0520/14
SITE ADDRESS:	3 Scotland Road Buckhurst Hill Essex IG9 5NP
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill West
APPLICANT:	Mr Samuel Cooper
DESCRIPTION OF PROPOSAL:	Demolition of existing bungalow and construction of two storey house with rooms in roof. (Revised application to EPF/0226/11)
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniTelM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=560834

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 The hard landscaping shall be undertaken as shown on Open Spaces drawing number OS749-14-3 Rev B (dated Feb 2014) and the soft landscaping shall be undertaken in accordance with Open Spaces drawing number OS749-14-4 Rev B (dated Feb 2014) unless the Local Planning Authority gives its written consent to any variation. If within a period of five years from the date of the planting or establishment of any tree, or shrub or plant, that tree, shrub, or plant or any replacement is removed, uprooted or destroyed or dies or becomes seriously damaged or defective another tree or shrub, or plant of the same species and size as that originally planted shall be planted at the same place, unless the Local Planning Authority gives its written consent to any variation.
- 3 No development, including works of demolition or site clearance, shall take place until a Tree Protection in accordance with Open Spaces tree reports dated February 2014 have been implemented. The development shall be carried out only in accordance with the approved documents unless the Local Planning Authority gives its written consent to any variation.
- 4 The development hereby permitted will be completed strictly in accordance with the approved drawings nos: 6 Rev H; 3 Rev E; 4 Rev K; 8 Rev E; 7 Rev E; 14-510/1; OS 749 -14.3; OS 749 - 14.4, and a 1/1250 site location plan.
- 5 All construction/demolition works and ancillary operations, including vehicle movement on site, which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee because the recommendation for approval is contrary to more than two objections received which are material to the planning merits of the proposal, pursuant to the 'constitution, part three: planning directorate – delegation of council function, schedule 1, appendix A(f).

Description of Site:

This is the site of a demolished bungalow. Neighbouring dwellings are 2 storey houses in common with the remainder of the road. The site lies on a hill rising from east to west, and the site also drops in level from the front to its rear. The site does not lie in a conservation area.

Description of Proposal:

Construction of two storey house with rooms in roof (Revised application to EPF/0226/11).

Relevant History:

EPF/226/11 gave approval to a two storey house with rooms in the roof.

Policies Applied:

CP2 – Protecting the Quality of the Rural and Built Environment
CP7 – Urban Form and Quality
DBE1 – Design of new buildings.
DBE2 – Effect on neighbouring properties.
DBE6 – Car parking in new development
DBE9 – Loss of amenity
ST6 – Vehicle Parking
LL10 – Adequacy of provision for landscape retention

These policies are compliant with the NPPF.

Summary of Representations:

BUCKHURST HILL PARISH COUNCIL – no objections.

NEIGHBOURS – 9 properties consulted and four replies received:-

1, SCOTLAND ROAD – the property is to be raised considerably in comparison to the previous approval – by one metre or more. This additional height, with a footprint that extends beyond the rear of our property, will further reduce light to the rear of our house and to our garden. We note it is not now proposed to raise the level of the rear garden but a 4m depth rear patio, which rises to 1.8m above ground level is proposed - and this would affect privacy into our house and garden.

2B, SCOTLAND ROAD – the revised plans appear to show an increase in height which would be unacceptable – the previous design was over large. A grey roof tile would not blend with mainly red/brown tiles in the locality. There has been a delay in construction and building works give rise to nuisance.

2B, SCOTLAND ROAD – the extra height makes the building more intrusive than before. Use of grey tiles on the roof would be out of place. As before I feel the frontage to the new house should be parallel to number 7 and not to number 1 which is a corner house.

BUCKHURST HILL RESIDENTS SOCIETY – one of our members has objected to the development (for reasons set out in second letter from 2B Scotland Road above)

Issues and Considerations:

This application seeks approval to a revision to the house approved under EPF/0226/11 in that it is now proposed to build the house on ground that is 0.5m higher than previously approved. Because of the slope of the site from front to rear the previous design would have created a downward sloping drive area which would have restricted the safe manoeuvring of cars onto and off the drive. The increased height of the house results in its eaves being 0.5m above the height of the eaves of the adjoining number 1 Scotland Road. However because the road slopes upward this increase in eaves height is acceptable and appropriate. The other neighbouring house at number 7 still is a lot higher than the proposed dwelling at number 3, and consequently this change in ground level, and consequent raised position of the house, will not look out of place in the street scene.

Although the proposed house has a footprint that extends to the rear of the neighbouring number 1, the extra height of 0.5m will have a limited additional impact on the amenity and light received by this neighbour.

The materials to be used on external surfaces are acceptable, and details of soft and hard landscaping are acceptable to the Trees and Landscape section subject to conditions requiring their implementation in full.

Comments on representations received:-

In terms of loss of privacy from a raised patio at the rear the plans have been amended following discussions with the case officer. A raised patio is now not proposed and is replaced by steps leading down to a lower patio sited at existing ground level. Therefore the overlooking concerns of the occupier of number 1 have been largely addressed. In terms of the height of the house these concerns have been discussed above in the main body of the report. Lastly, a grey roof tile originally proposed for the roof has now been replaced by a red/brown roof tile - since it is agreed that a red/brown tile would relate better to neighbouring houses in the street scene.

Conclusions:

For the reasons outlined above this revised proposal complies with relevant policies, and it is recommended that conditional planning permission be granted.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: David Baker
Direct Line Telephone Number: 01992 564514***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



Epping Forest District Council

AGENDA ITEM NUMBER 7



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Application Number:	EPF/0537/14
Site Name:	42 Westbury Lane, Buckhurst Hill IG9 5PL
Scale of Plot:	1/1250

Report Item No: 7

APPLICATION No:	EPF/0537/14
SITE ADDRESS:	42 Westbury Lane Buckhurst Hill Essex IG9 5PL
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill West
APPLICANT:	Miss Georgina Zumeris
DESCRIPTION OF PROPOSAL:	Part one and part two storey rear extensions and enlargement of first floor in lower roof pitch.
RECOMMENDED DECISION:	Grant Permission (with conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=560952

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used on the external surfaces of the development hereby permitted shall be those specified in answer to question 9 on the submitted planning application forms.
- 3 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee because the recommendation for approval is contrary to an objection from a local council which is material to the planning merits of the proposal, pursuant to the 'constitution, part three: planning directorate – delegation of council function, schedule 1, appendix A(g).

Description of Site:

A modest detached dwelling with a small first floor located within a sloping gable ended roof the ridge of which runs at right angles to the road. Neighbouring houses are detached in a road of houses of varied appearance. The application property is not listed nor does it lie in a conservation area.

Description of Proposal:

Part one and part two storey rear extension, and enlargement of first floor in lower roof pitch.

Relevant History:

None.

Policies Applied:

DBE9 - Loss of amenity.
DBE10 – Residential extensions.

These two policies are compliant with the NPPF.

Summary of Representations:

BUCKHURST HILL PARISH COUNCIL – objection – it would be overbearing on the neighbour and cause a loss of amenity to the neighbour.

NEIGHBOURS – 9 properties consulted and one reply received:-

44, WESTBURY LANE – I would make the following comments. I am concerned at loss of privacy from the east facing window in the in the proposed single storey rear extension. The proposed south facing elevation appears to be fully glazed and I would prefer to see the glazed area reduced in size to lessen the loss of privacy to my rear garden.

Issues and Considerations:

The proposed rear ground floor extension is 4m in depth with a 1.5m depth first floor extension proposed on top. It is also proposed to extend the existing first floor accommodation by reducing the angle of roof over the first floor.

This property and neighbouring ones at numbers 40 and 44 are detached properties - and hence the impact of the extensions is reduced by the space between the houses. Number 44 lies 6.6m away from the proposed extension on slightly higher land, and with small trees and bushes close to the boundary there will be a limited impact on number 44's light and outlook resulting from the proposed extension. The occupier of number 44 has however raised concerns about overlooking, and the applicant has agreed to amend the plans in this respect - there is now only a high level side facing window proposed at ground floor level, and the amount of glazing in the proposed rear and south facing elevation has also been reduced. Although these changes were not necessarily a mandatory requirement they have reduced the potential for actual or perceived overlooking of no.44 – and these changes therefore address some or all of the concerns that the neighbour at no.44 has raised.

The other neighbouring house at no.40 stands in a more forward position than no.42. Therefore the proposed rear extension will have some impact on light and outlook. However number 40 has a fairly wide plot with an open rear aspect, and the extension to number 42 will lie a minimum of 11m away from its rear first floor wall and windows. In addition, a high fence with trellis, and trees and bushes near the boundary, will provide some screening. For these reasons the proposal extension will not have an undue effect on the amenity of no.40.

The existing first floor accommodation is constrained within sharply angled roof slopes. The proposal to raise the eaves of the roof, and to provide a more shallow roof form to achieve more

usable floor space, is acceptable in design terms. It will have a small effect on the amenity of neighbours and will represent an appropriate alteration to the street scene.

Comments on representations received:-

Although it is not clear it is assumed that the Parish Council objections refer to the proposal affecting amenity the neighbour at number 40. This property has a large ground floor rear extension, and having regard to the points raised above the proposals will not have a materially adverse effect on its amenity. In addition there has not been any objection received from the neighbour at number 40.

Conclusions:

For the reasons outlined above this proposal complies with policies DBE9 and DBE10, and it is recommended that conditional planning permission be granted.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

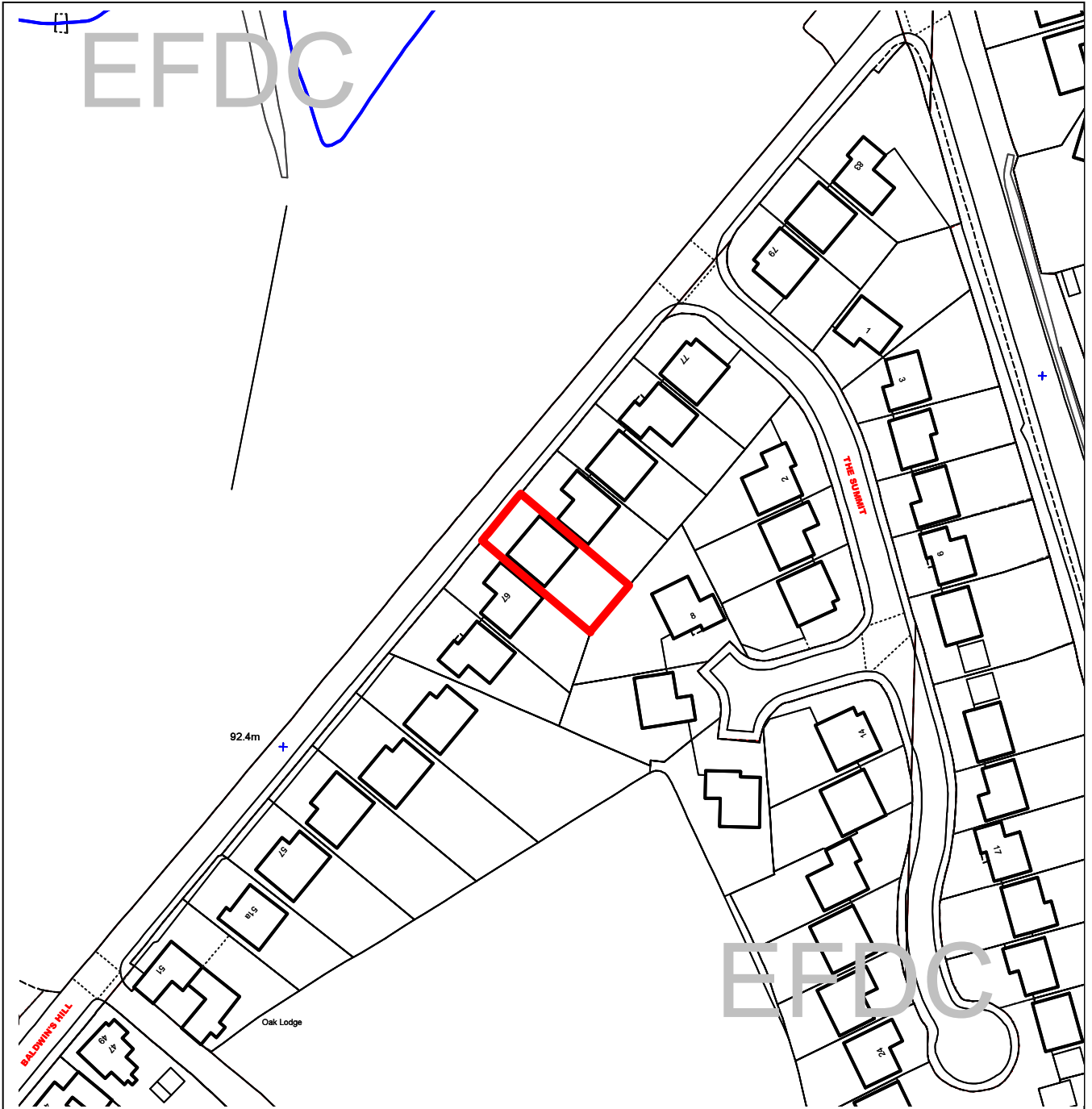
***Planning Application Case Officer: David Baker
Direct Line Telephone Number: 01992 564514***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



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AGENDA ITEM NUMBER 8



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Application Number:	EPF/0630/14
Site Name:	69 Baldwins Hill, Loughton IG10 1SN
Scale of Plot:	1/1250

Report Item No: 8

APPLICATION No:	EPF/0630/14
SITE ADDRESS:	69 Baldwins Hill Loughton Essex IG10 1SN
PARISH:	Loughton
WARD:	Loughton St Johns
APPLICANT:	Mr Falzon
DESCRIPTION OF PROPOSAL:	Single storey rear extension, garage conversion and dormer window to front elevation
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561380

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of Site

Baldwins Hill is located within the settlement of Loughton. The existing building is a two storey detached property located within a relatively short plot. The rear garden is approximately 13m long. The adjacent neighbours have not been extended to the rear; however there are some examples of rear extensions along Baldwins Hill. The application site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of proposal

The proposed development is for a single storey rear extension which will be 3.5m deep, 10.5m wide and 3.2m high. The application also includes a front porch and new front dormer windows which alter the façade of the dwelling. It is also proposed to change the garage into habitable living space.

Relevant History

EPF/0420/86 - Single storey rear extension and conversion of garage to living room - Refused and dismissed on appeal

Policies Applied

CP2: Quality of Rural and Built Environment

DBE9: Loss of Amenity

DBE10: Residential Extensions

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policies are broadly consistent with the NPPF and should therefore be given appropriate weight

Consultation carried out and summary of representation received

4 neighbours consulted –

71 BALDWINS HILL – OBJECTION – It is an overdevelopment of the site and would result in a loss of daylight, sunlight and outlook to my home and is grossly out of keeping with the area.

THE HILLS AMENITY SOCIETY – OBJECTION – The single storey extension will be imposing and affect neighbouring outlook. The front porch should not be allowed.

LOUGHTON TOWN COUNCIL – OBJECTION – The committee stated that the application is a gross overdevelopment of a very small plot and there was concern that the building line would be breached at the front and thus visually impact on the neighbouring properties.

The committee was also concerned that the scheme would cause grave loss of amenity and light to the neighbours, exacerbated by the large number of trees previously planted at this locality by Dr Fred Stoker, many with TPOs and over 22m high. Members considered the trees were an integral part of the historic landscape and were concerned no account had been submitted with the application documentation.

Members also commented that the design and access statement had incorrectly outlined the property that was shown on the photograph of the site on page 5, which exaggerated the depth of the garden and so was misleading.

Issues and Considerations

The main issues to consider when assessing this application are the effects of the proposal on the living conditions of neighbours and the design of the proposal in regards to the existing building and its setting

Neighbour Amenity

Although the rear gardens of the application site and that of the adjacent neighbours are relatively short, the rear building lines of no.71 and no.73 are set back approximately 1.5m further than the application property. As such the extension will only project 2m past the rear elevation, therefore given its reasonable height the extension will not appear excessively overbearing or cause any significant light loss to the neighbouring property.

The front porch is of a reasonable height and depth. Therefore it will not harm the living conditions of the neighbours.

Design

The rear extension is of a conventional design which respects the existing building. The front extension is a very minor addition and will not appear overly prominent within the street scene. The alterations to the front dormer windows appear somewhat bulky in appearance. However there are numerous examples of large box dormers on the front elevation of properties along Baldwins Hill. One such example is the adjacent dwelling (no.67). Therefore the dormer windows will not appear overly prominent within the street scene.

Conclusion

The development will not harm the living conditions of the neighbouring properties and the design respects the existing building. Therefore it is recommended that planning permission is granted.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

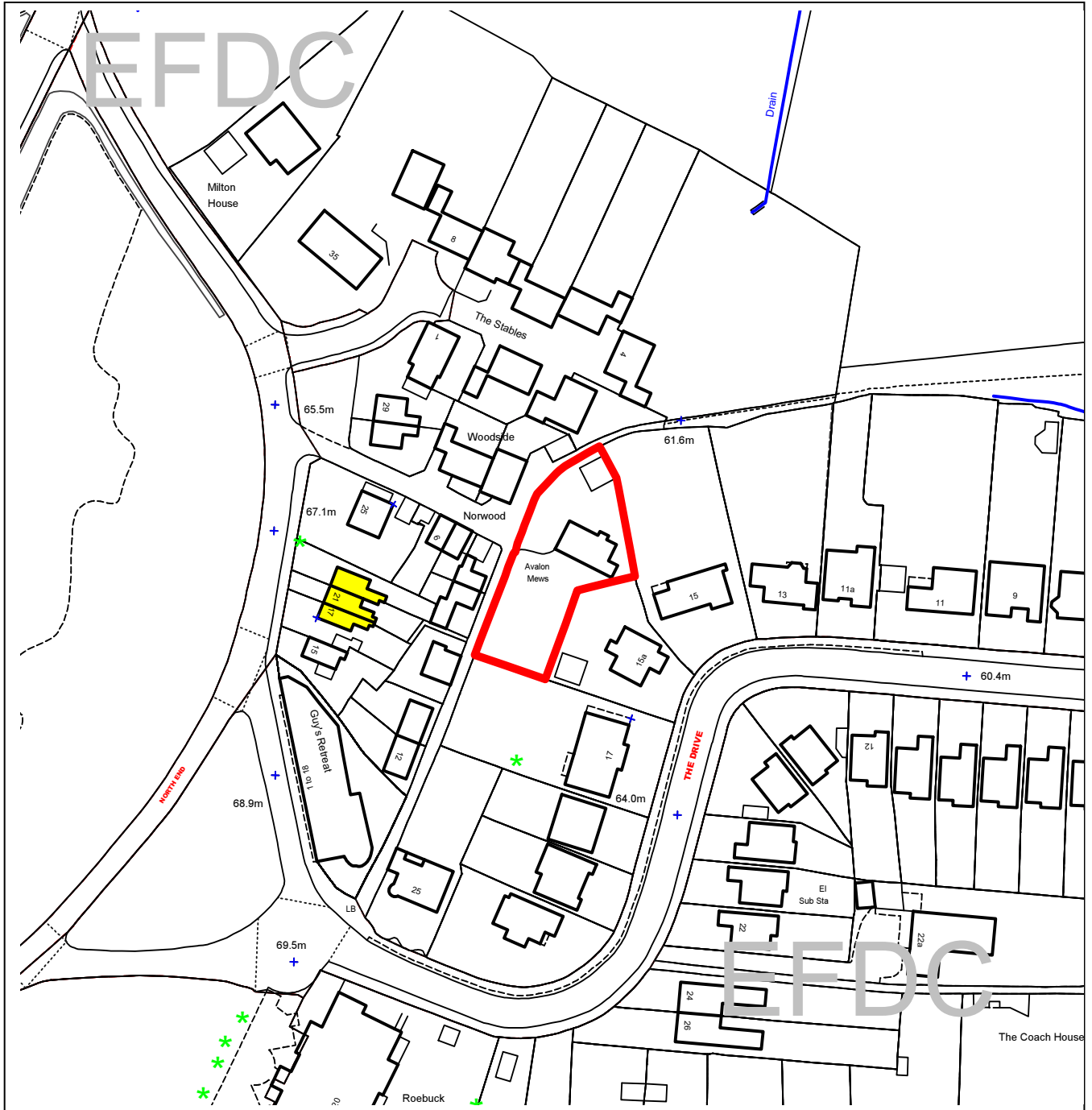
***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 103***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



Epping Forest District Council

AGENDA ITEM NUMBER 9



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Application Number:	EPF/0634/14
Site Name:	Avalon Mews, North End Buckhurst Hill, IG9 5RA
Scale of Plot:	1/1250

Report Item No: 9

APPLICATION No:	EPF/0634/14
SITE ADDRESS:	Avalon Mews North End Buckhurst Hill Essex IG9 5RA
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill West
APPLICANT:	Miss C Watkins
DESCRIPTION OF PROPOSAL:	Reposition previously approved rear window.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561391

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of Site

Avalon Mews is located within the built up area of Buckhurst Hill. The existing building is a two-storey property situated in a widely splayed plot. The neighbours are similar detached properties with wide gardens. 15a The Drive backs onto the rear of the application site, there is a certain degree of screening on the boundary however the property is obliquely visible when viewed from Avalon Mews. The site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of proposal

The proposed development is to reposition a previously approved window in the first floor of the rear elevation. The extant permission allows a 2.4m wide window approximately 7m from the shared boundary with no.15a The Drive. The proposed window would be 1.7m wide, approximately 5.3m from the shared boundary.

Relevant History

EPF/0259/13 - Removal of existing conservatory and erection of two storey extension to front and rear, first floor extension over existing extension, alteration to bay projection and replace existing tiles – Refused

EPF/1137/13 - Removal of existing conservatory and erection of two storey extension to front, rear and side, alteration to bay projection and replace existing tiles. (Revised application) - Approved

Policies Applied

DBE9: Loss of Amenity

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policy is broadly consistent with the NPPF and should therefore be given appropriate weight

Consultation carried out and summary of representation received

6 Neighbours consulted –

15a THE DRIVE – OBJECTION – The proposed window will cause excessive overlooking, as per the previously refused application

BUCKHURST HILL PARISH COUNCIL – OBJECTION – The window will cause excessive harm to neighbouring amenity through overlooking.

Issues and considerations

The main issue to consider when assessing this application is whether the repositioning of the window will cause excessive harm to the living conditions of the neighbour.

Neighbour Amenity

The rear elevation of no.15a The Drive is located approximately 16m from the rear elevation of Avalon Mews, which is orientated away from no.15a. The repositioning of the window will move it closer to the shared boundary, which will allow more of an opportunity for oblique views into the rear garden and patio area of no.15a, but will not allow views into the dwelling itself. Given that the distance of the window to the boundary is 5.3m and that the rear building line of no.15a is approximately 12m from the boundary, the potential for overlooking will not be excessive. There is a certain level of vegetation on the boundary which acts as a partial screen, however it is not robust and there is no guarantee that it will remain in position, therefore little weight is given to this.

The applicant has a fall back position from the previous planning application (EPF/1137/13) which granted consent for a window on the rear elevation, albeit further away from the shared boundary. There is very little material change to the positioning of the window and therefore the potential impact on the living conditions of no.15a will not be excessively worse than it would be if the extant consent were implemented.

The proposed window is orientated away and is a significant distance from 15a. As such the perception of overlooking will also not be excessive.

Conclusion

The proposed repositioning of the window will not cause excessive harm to the living conditions of no.15a The Drive or any other neighbours. As such the proposal complies with policy DBE9 of the Adopted Local Plan and alterations and is recommended for approval.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

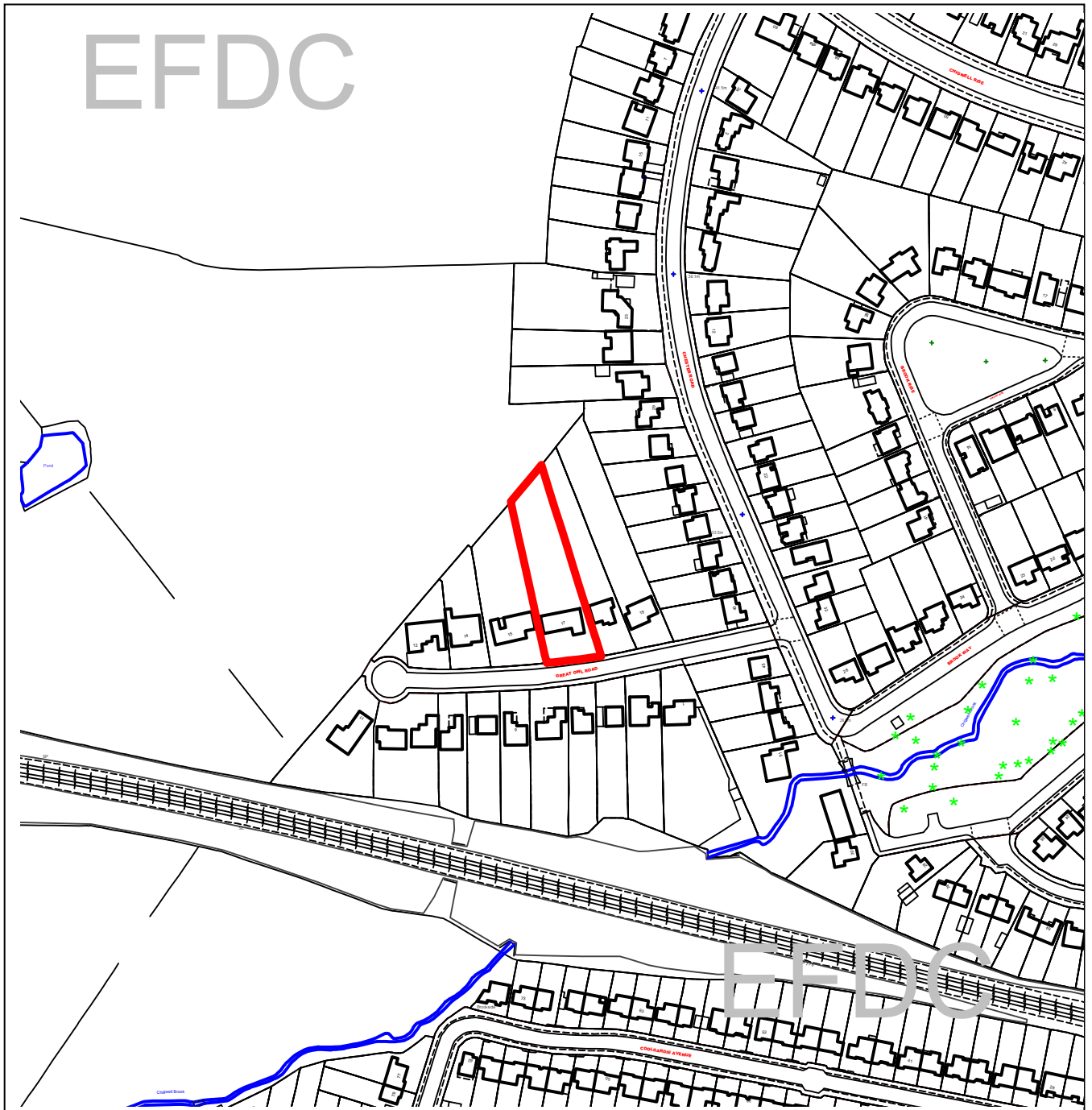
***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 103***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



Epping Forest District Council

AGENDA ITEM NUMBER 10



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Application Number:	EPF/0641/14
Site Name:	17 Great Owl Road, Chigwell IG7 6AL
Scale of Plot:	1/2500

Report Item No: 10

APPLICATION No:	EPF/0641/14
SITE ADDRESS:	17 Great Owl Road Chigwell Essex IG7 6AL
PARISH:	Chigwell
WARD:	Chigwell Village
APPLICANT:	Mr Vinod Patel
DESCRIPTION OF PROPOSAL:	Demolition of existing family home and rebuild a new 4 bedroom house
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561414

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 The development hereby permitted will be completed strictly in accordance with the approved drawings nos: 1; 1; 2; 2.1; 2.2; 2.3; 2.4; 2.5; 2.6; 2.7; 3; 3; 3.1
- 3 No construction works above ground level shall take place until documentary and photographic details of the types and colours of the external finishes have been submitted to and approved by the Local Planning Authority, in writing. The development shall be implemented in accordance with such approved details.
- 4 No development shall take place, including site clearance or other preparatory work, until full details of both hard and soft landscape works (including tree planting) and implementation programme (linked to the development schedule) have been submitted to an approved in writing by the Local Planning Authority. These works shall be carried out as approved. The hard landscaping details shall include, as appropriate, and in addition to details of existing features to be retained: proposed finished levels or contours; means of enclosure; car parking layouts; other minor artefacts and structures, including signs and lighting and functional services above and below ground. The details of soft landscape works shall include plans for planting or establishment by any means and full written specifications and schedules of plants, including species, plant sizes and proposed numbers /densities where appropriate. If within a period of five years from the date of the planting or establishment of any tree, or shrub or plant, that tree, shrub, or plant or any replacement is removed, uprooted or destroyed or dies or becomes seriously damaged or defective another tree or shrub, or plant of the same species and size as that originally planted shall be planted at the same place, unless the Local Planning Authority gives its written consent to any variation.

5 Notwithstanding the provisions of the Town and Country Planning General Permitted Development Order 1995 as amended (or any other Order revoking, further amending or re-enacting that Order) no side and rear extensions generally permitted by virtue of Class A of Part 1 of Schedule 2 to the Order shall be undertaken without the prior written permission of the Local Planning Authority.

6 The proposed use of this site has been identified as being particularly vulnerable if land contamination is present, despite no specific former potentially contaminating uses having been identified for this site.

Should any discoloured or odorous soils be encountered during development works or should any hazardous materials or significant quantities of non-soil forming materials be found, then all development works should be stopped, the Local Planning Authority contacted and a scheme to investigate the risks and / or the adoption of any required remedial measures be submitted to, agreed and approved in writing by the Local Planning Authority prior to the recommencement of development works.

Following the completion of development works and prior to the first occupation of the site, sufficient information must be submitted to demonstrate that any required remedial measures were satisfactorily implemented or confirmation provided that no unexpected contamination was encountered.

7 Prior to first occupation of the development hereby approved, the proposed window openings at first floor level in the side elevations shall be entirely fitted with obscured glass and have fixed frames to a height of 1.7 metres above the floor of the room in which the window is installed and shall be permanently retained in that condition.

8 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A.(g))

Description of Site:

The application site comprises a detached dwelling located within Great Owl Road, a cul-de-sac accessed from Chester Road.

The dwelling is two storey and constructed in grey brick. The dwelling has a part integral garage located to the side and a single store flat roof addition to the other side.

A number of other dwellings within the cul-de-sac appear to have been substantially extended or replaced and a replacement dwelling is presently under construction opposite the site.

Description of Proposal:

This application seeks planning permission for a replacement detached dwelling.

The dwelling would have symmetrical form, with a central gable. It would have a width of 18.8m, being located approximately 1.8m from the site boundary on the side closest to 18 Great Owl Road at the front of the dwelling (closing to abut the boundary at the rear) and retaining a gap of approximately 0.8m at the front of the dwelling adjacent to 15 Great Owl Road, increasing to a gap of 1.8m at the rear.

It would have a hipped roof (with crown top) with a height to eaves of approximately 5.7m and a ridge of 9m. The ground level around the dwelling would be lowered by 300mm.

The proposed dwelling would be loosely rectangular in footprint, having a maximum depth of 15m.

Relevant History:

EPF/0160/10 – Replacement of existing dwelling with the erection of four bedroom house – Refused for the following reason:

The proposed replacement dwelling would appear excessive in terms of its bulk, scale in relation to the width of the plot and is of a design that fails to complement or enhance the character and amenity of the street scene. The siting with the two storey element well beyond the main two storey building line of this part of the street scene results in an overbearing and visually intrusive development. The proposal is therefore contrary to Policies DBE1, DBE2 and DBE9 of the Adopted Local Plan and Alterations.

EPF/0265/13 – Extensions to front, rear and side – App/Con

EPF/1126/13 - Extensions to front, rear and side – App/Con

EPF/2088/13 - Proposed two storey front, rear and side extensions.

Concurrent application EPF/0642/14 for a revised dwelling of different design is pending consideration.

Policies Applied:

CP1 – Achieving Sustainable Development Objectives
CP2 – Protecting the Quality of the Rural and Built Environment
DBE1 – Design of new Buildings
DBE2 – Effect on neighbouring properties
DBE8 – Private Amenity space
DBE9 – Loss of amenity
LL10 – Adequacy of provision for landscaping provision
LL11 – Landscaping Schemes
ST1 – Location of development
ST6 – Vehicle Parking
ST4 – Road Safety

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policies are broadly consistent with the NPPF and should therefore be given appropriate weight.

Summary of Representations:

Notification of this application was sent to Chigwell Parish Council and to 2 neighbouring residents.

The following representations have been received:

CHIGWELL PARISH COUNCIL. Objection. The Council objects to this application as it is excessive, out of keeping with the street scene and of poor design.

Issues and Considerations:

The main issues to be considered are the impacts of the proposed development on the character and appearance of the area and on neighbouring amenity. Consideration will be given to the impacts of the proposed dwelling comparative with those extensions approved last year, and capable of being constructed.

Neighbouring Amenity

The overall height of the dwelling would be similar to existing (approximately 300mm higher) and its rear projection roughly the same as that previously approved for extensions to the dwelling. Windows proposed within upper levels in the side elevation would either be secondary windows, or serve non-habitable rooms. If necessary they could, therefore, be required to be fitted with obscured glass. It is not, therefore, considered that there would be any significant harm to the level of amenity presently enjoyed by the occupiers of neighbouring dwellings.

Occupiers of the proposed dwelling would benefit from good levels of amenity and a large area of private amenity space. Adequate off-street car parking would be provided to the front of the dwelling.

The rear projection of the dwelling is such that if it were to be further extended with the benefit of permitted development rights, there is potential for neighbouring amenity to be affected. It is, therefore, considered necessary to restrict permitted development rights in order that the implications of any future additions to the rear can be given due consideration.

Character and Appearance

The width of the dwelling would be considerable in relation to other neighbouring dwellings, although the plot size is large and some other dwellings within the street do sit in close proximity to one another.

The dwelling is the same width as the existing house would be if previously approved extensions without an additional single storey element were erected. Furthermore, the pitch of the roof is lowered from that approved, thereby reducing the bulk of the roof. The omission of this single storey element would be of visual benefit. Accordingly, it is considered necessary that permitted development rights that would allow it to be reinstated without the need for express planning permission be removed.

The approved extensions to the existing dwelling were of complimentary design. This proposed replacement dwelling adopts a different style, including the pillared entrance and the front gable feature, resembling a pediment. Given the mix of styles of dwelling within the street scene, it is considered that this design approach acceptable. A planning condition can ensure the use of suitable materials.

Conclusion:

In light of the above appraisal, it is considered that the proposed development would not cause significant harm to either neighbouring amenity or to the character and appearance of the area and would accord with local and national planning policies. It is, therefore, recommended that planning permission be granted.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

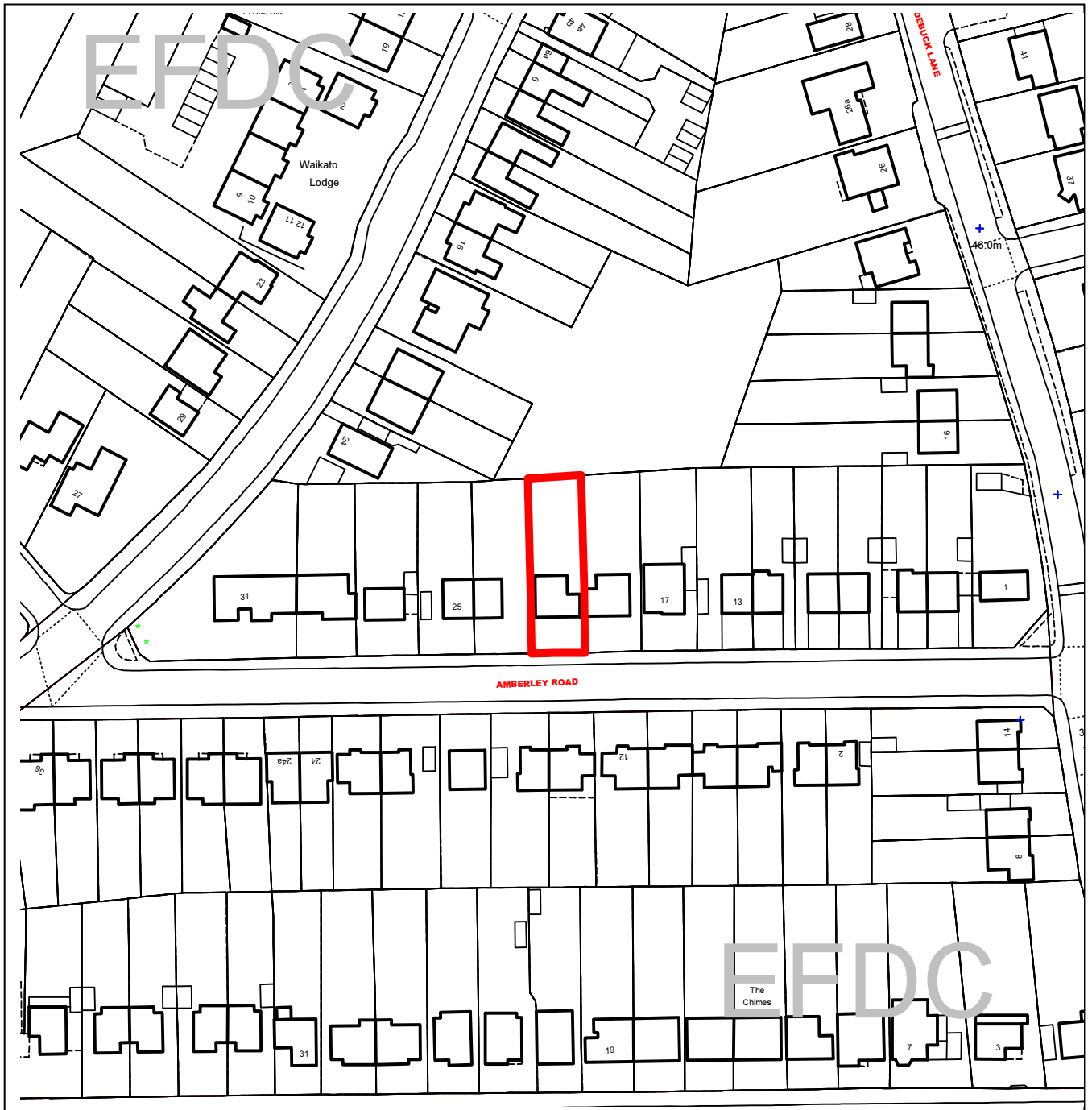
***Planning Application Case Officer: Mrs Katie Smith
Direct Line Telephone Number: 01992 564103***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



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AGENDA ITEM NUMBER 11



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Application Number:	EPF/0644/14
Site Name:	21 Amberley Road, Buckhurst Hill IG9 5QW
Scale of Plot:	1/1250

Report Item No: 11

APPLICATION No:	EPF/0644/14
SITE ADDRESS:	21 Amberley Road Buckhurst Hill Essex IG9 5QW
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill West
APPLICANT:	Mrs Lucy Collins
DESCRIPTION OF PROPOSAL:	Proposed two storey front, side and rear extensions, rear dormer window. New drop kerb. Formation of patio and construction of retaining wall to enclose patio.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561417

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used for the external finishes of the proposed development shall match those of the existing building, unless otherwise agreed in writing by the Local Planning Authority.
- 3 All material excavated from the below ground works hereby approved shall be removed from the site unless otherwise agreed in writing by the Local Planning Authority.
- 4 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of Site

Amberley Road is located within the built up area of Buckhurst Hill. The existing building is a two storey detached property situated within a relatively long and wide plot. The surrounding

neighbours are similar detached properties, some of which have been extended to the side and rear. The application site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of proposal

The proposed development is for a first floor side extension to be built above an existing single storey garage. The application also includes a 4m deep part single part first floor rear extension and a first floor side extension to 'square off' the dwelling. The single storey element will project towards the shared boundary with no.23. The two storey element will project close to no.19. A rear dormer window and a dropped kerb are also included.

Relevant History

No relevant history

Policies Applied

CP2: Quality of Rural and Built Environment

DBE9: Loss of Amenity

DBE10: Residential Extensions

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policies are broadly consistent with the NPPF and should therefore be given appropriate weight

Consultation carried out and summary of representation received

9 neighbours consulted - No comments received

BUCKHURST HILL PARISH COUNCIL – OBJECTION – overdevelopment of site and loss of amenity to neighbouring property.

Issues and Considerations

The main issues to consider when assessing this application are the effects of the proposal on the living conditions of neighbours and the design of the proposal in regards to the existing building and its setting

Neighbour Amenity

The first floor rear extension will project 4m from the existing rear wall of the dwelling and leave a gap of 1m to the boundary with no.19. The site slopes so that no.19 is on lower ground than the application site. However the extension only projects 2.2m past the rear elevation of no.19. As a result of its small net projection on the shared boundary, the extension will not appear overbearing or cause any loss of light to no.19.

The side extension is set against the backdrop of no.19 and therefore will not cause any harm to their living conditions. The single storey element of the rear extension is set 1.2m from the shared boundary with no.23. The first floor element is set 5m from the boundary. The distance is such that there will be no harm to neighbouring living conditions.

The rear dormer window is relatively small and will not allow for direct overlooking into neighbouring properties.

Design

The side extension leaves a gap of 1m to the boundary with no.19. The gap between the properties is such that there will be no potential for a terracing effect. Furthermore the extensions are conventionally designed and will not appear overly prominent within the street scene.

The dormer window is on the rear of the property and as such will not be visible from public areas of the street scene. In any case it is conventionally designed and respects the existing building.

Drop Kerb

Amberley Road is not classified and therefore this component of the proposal does not require planning permission. In any case it will not harm the visual amenity of the street scene or the interests of highway safety.

Conclusion

The development will not harm the living conditions of the neighbouring properties and respects the existing building. Therefore it is recommended that planning permission is granted.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

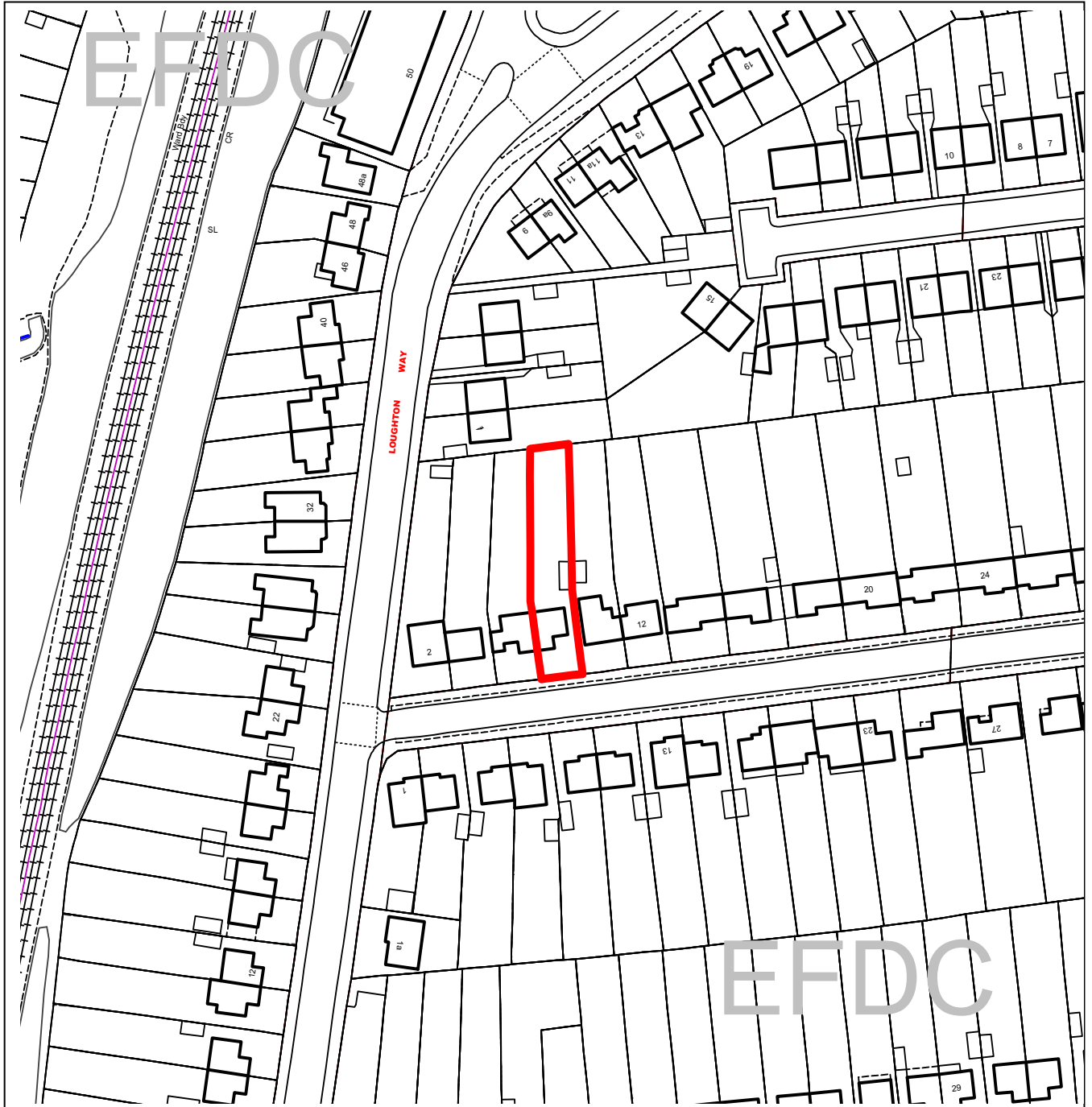
***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 371***

or if no direct contact can be made please email contactplanning@eppingforestdc.gov.uk



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AGENDA ITEM NUMBER 12



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Application Number:	EPF/0658/14
Site Name:	8 Hurst Road, Buckhurst Hill IG9 6AB
Scale of Plot:	1/1250

Report Item No: 12

APPLICATION No:	EPF/0658/14
SITE ADDRESS:	8 Hurst Road Buckhurst Hill Essex IG9 6AB
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill East
APPLICANT:	Mr & Mrs Jonathan & Cindy Burstin
DESCRIPTION OF PROPOSAL:	Demolition of existing garage and erection of part single, part two storey rear extension, part single, part two storey side extension and single storey front extension.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561491

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used for the external finishes of the proposed development shall match those of the existing building, unless otherwise agreed in writing by the Local Planning Authority.
- 3 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of Site

Hurst Road is located within the built up area of Buckhurst Hill. The existing building is a two storey semi-detached property situated within a relatively long plot. The surrounding neighbours are similar properties, some of which have been extended to the side and rear. The application site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of proposal

The proposed development is for a part single, part two storey side extension. The first floor element is set 0.9m from the shared boundary with 10 Hurst Road. The ground floor extends 0.2m away from the boundary. The application includes a part single, part two storey rear extension. The two storey element projects 2.7m from the existing rear elevation, is 7.5m wide and is set on the boundary with no.6. The application also includes the introduction of a front dormer window.

Relevant History

EPF/0418/88 - Single storey front extension. – Approved

Policies Applied:

CP2 – Protecting the Quality of the Rural and Built Environment

DBE10 – Effect on Neighbouring Properties

DBE9:- Loss of Amenity

Consultation carried out and Summary of Representations received:

4 Neighbours consulted –

10 HURST ROAD – OBJECTION – The extension is too close to my property and will cause a significant loss of light. It will also allow overlooking into private areas of my property. It will also appear excessively overbearing.

BUCKHURST HILL PARISH COUNCIL – OBJECTION – Overdevelopment of the site, loss of amenity to neighbouring property, proximity to the boundary of the neighbour.

Issues and considerations

The main issues to consider when assessing this application are the effects of the proposed development on the amenities of neighbours and the design in regards to the existing building and its setting.

Neighbour Amenity

The first floor side element of the extension leaves a gap of 1m to the shared boundary with no.10. As it is set against the side elevation of no.10 it will not be visible and as such will not cause any harm to the neighbouring living conditions.

The first floor element of the rear extension is 2.7m deep but the net projection past the rear elevation of no.10 is approximately 1.2m. Consequently an imaginary 45 degree line taken from the centre of the closest first floor habitable room window is not intercepted, as such the extension will not appear excessively overbearing. This is further offset by the depth of neighbours' rear gardens, at approximately 30m.

The ground floor element of the rear extension is set on the boundary with no.10. The net projection past the rear elevation of no.10 will be 4.6m. Given the 1.8m high boundary treatment and the extension will be a reasonable 3m high it will not cause excessive harm to the living conditions of no.10.

The first floor rear extension will be set on the boundary with the adjoining neighbour (No.6). However the first floor element will be the same size as the neighbouring first floor extension and

therefore will not be visible. The single storey rear extension will not harm the living conditions of no.6 given that it is set 4m away from the shared boundary.

Design

The two storey side extension is a significant addition to this property. However it leaves a gap of at least 1m to the shared boundary with no.10. As such the potential for a terracing effect is negated. The design of both the extension is conventional and respects the existing building.

The rear extension is similarly conventional and also respects the existing building. Furthermore it will not be visible from private areas of Hurst Road and therefore will not appear prominent within the street scene.

The front dormer window introduces a new feature into the immediate street scene. However the roof slopes away and the window will appear as a feature which will not appear overly prominent within the street scene. As such the dormer window respects the existing building and the immediate street scene.

Conclusion

The development will not harm the living conditions of the neighbouring properties and is of a conventional design which respects the existing property. As such the application complies with policies CP2, DBE9 and DBE10 of the Adopted Local Plan and Alterations.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 371***

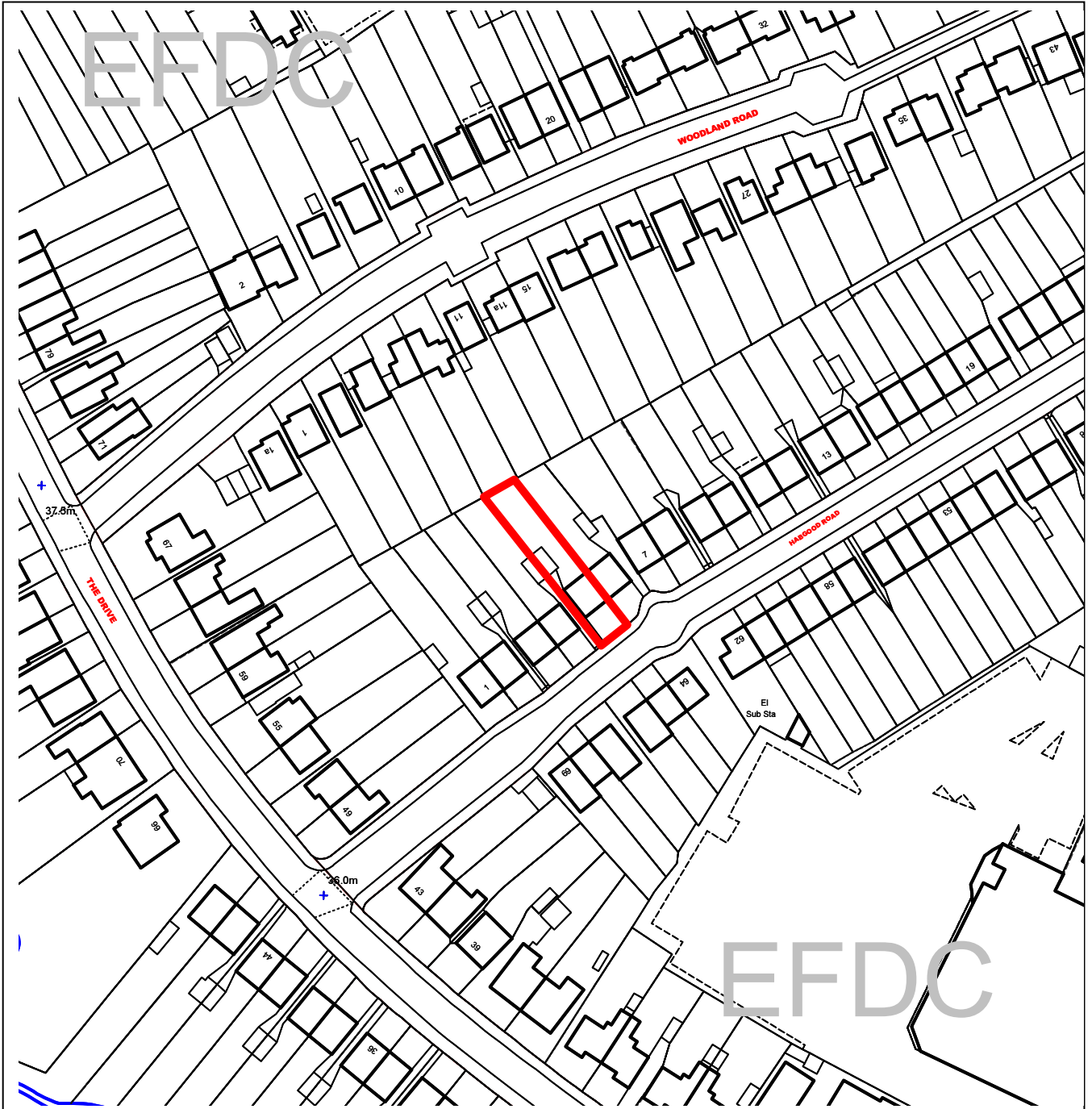
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AGENDA ITEM NUMBER 13



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Application Number:	EPF/0757/14
Site Name:	5 Habgood Road, Loughton IG10 1HF
Scale of Plot:	1/1250

Report Item No: 13

APPLICATION No:	EPF/0757/14
SITE ADDRESS:	5 Habgood Road Loughton Essex IG10 1HF
PARISH:	Loughton
WARD:	Loughton St Marys
APPLICANT:	Mr Philip Ives
DESCRIPTION OF PROPOSAL:	First floor rear extension to property.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniTelM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561911

CONDITIONS

- 1 The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this notice.
- 2 Materials to be used for the external finishes of the proposed development shall match those of the existing building, unless otherwise agreed in writing by the Local Planning Authority.
- 3 All construction/demolition works and ancillary operations, including vehicle movement on site which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of Site:

Habgood Road is located within the built up area of Loughton. The existing building is a two storey semi detached property situated within a long plot. The adjoining neighbour at no.6 has been previously extended at ground and first floor. No. 4 has recently received planning permission for a two storey rear extension. The application site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of Proposal

The proposed development is for a two storey rear extension which will be 3.9m deep, 3.7m wide and has a maximum height of 6.4m.

Relevant History

EPF/0385/14 - Prior notification application for a 5.95 metre deep single storey rear extension, with eaves height of 3.0 metres and overall height of 3.0 metres. – Prior approval granted.

Policies Applied

CP2: Quality of Rural and Built Environment
DBE9: Loss of Amenity
DBE10: Residential Extensions

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policies are broadly consistent with the NPPF and should therefore be given appropriate weight

Consultation carried out and summary of representation received

7 Neighbours consulted –

6 HABGOOD ROAD – OBJECTION – The extension will cause a tunnelling effect to our first floor bedroom. There will be significant light lost across our property.

LOUGHTON TOWN COUNCIL – OBJECTION – The committee objected to the height, bulk and design of the first floor rear extension, concerned it would have a deleterious effect on the amenities of the neighbours at no.4 and no.6 Habgood Road through loss of light to the principal rooms. The proposal was considered an overdevelopment of the site and would create a tunnel effect.

Issues and considerations

The main issues to consider when assessing this application are the effects of the proposed development on the amenities of neighbours and the design in regards to the existing building and its setting.

Neighbour Amenity

This application is very similar to an application by the adjacent neighbour at no.4 Habgood Road which was granted planning permission through an appeal (EPF/0931/13). The Inspector concluded that the extension would not cause any significant harm to the living conditions of the neighbours as it would not cause a tunnelling effect, appear overbearing or cause any significant loss of light. Although each site is assessed on its own merits, weight is given to this Inspector's appeal decision, given that the application is very similar.

The extension is set 2.1m from the shared boundary with no.6. Given that the extension will have the same maximum height and rear building line as the first floor extension to no.6, it will not appear excessively overbearing or cause any significant loss of light to the property.

The extension would be visible obliquely from the closest first floor bedroom window of no.6, but would project only marginally beyond a line taken from an angle of 45 degrees from the centre of the closest habitable room window. Consequently the extension will not dominate views from no.6.

Furthermore the gap between the first floor extensions is such that both properties will continue to enjoy views across their own and neighbouring gardens, which are relatively long and provide an open outlook to the rear.

Currently, no.4 has a small single storey extension and it is acknowledged that were this extension implemented there would be a certain degree of harm to the living conditions of no.4. However a material consideration is that No.4 has recently received planning permission for a first floor rear extension which has not yet been built. Once implemented however, the first floor extension would have a similar rear building line and be of a similar size to this proposed extension. As such it will not appear overbearing or cause any harm to the living conditions of no.4, significant weight is afforded to this.

Design

The extension is of a conventional design which will not be visible from public areas of Habgood Road. Therefore the extension respects the existing building and is appropriate.

Conclusion

The extension is of a conventional design which will not harm the living conditions of the neighbouring properties. Therefore the development complies with policies CP2, DBE9 and DBE10 of the Adopted Local Plan and Alterations.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

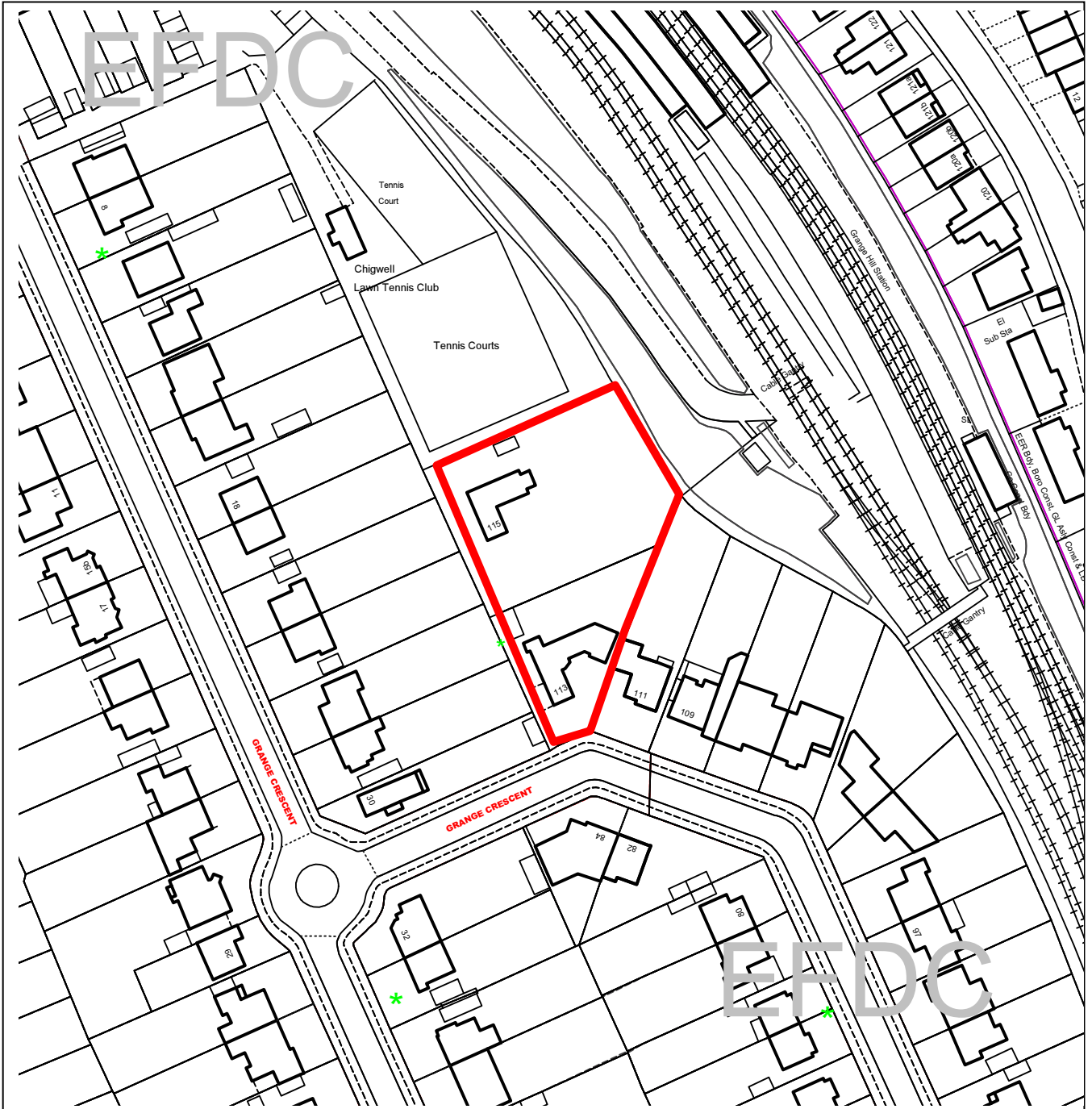
***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 371***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



Epping Forest District Council

AGENDA ITEM NUMBER 14



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Application Number:	EPF/0763/14
Site Name:	113 - 115 Grange Crescent, Chigwell IG7 5JD
Scale of Plot:	1/1250

Report Item No: 14

APPLICATION No:	EPF/0763/14
SITE ADDRESS:	113 - 115 Grange Crescent Chigwell Essex IG7 5JD
PARISH:	Chigwell
WARD:	Grange Hill
APPLICANT:	The Grange Development (Essex) Ltd
DESCRIPTION OF PROPOSAL:	Minor Material amendment to EPF/0320/10 to permit enlargement of basement to provide storage areas to flats and omission of entrance door at lower ground floor level.
RECOMMENDED DECISION:	Grant Permission (Subject to Legal Agreement)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniteIM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=561972

CONDITIONS

- 1 Details of the types and colours of the external finishes shall be submitted for approval by the Local Planning Authority in writing prior to the commencement of the development, and the development shall be implemented in accordance with such approved details.
- 2 Prior to first occupation of the building hereby approved the proposed window openings in the first and second floors of the west facing flank walls shall be fitted with obscured glass and have fixed frames up to a height of 1.7 metres above the finished floor level, and shall be permanently retained in that condition.
- 3 The development shall proceed in accordance with landscaping details submitted under application reference EPF/1994/13, unless otherwise agreed in writing by the Local Planning Authority.

If any plant dies, becomes diseased or fails to thrive within a period of 5 years from the date of planting, or is removed, uprooted or destroyed, it must be replaced by another plant of the same kind and size and at the same place, unless the Local Planning Authority agrees to a variation beforehand, and in writing.
- 4 The development shall proceed in accordance with the Tree Protection details approved under application reference EPF/1769/13, unless otherwise agreed in writing by the Local Planning Authority.
- 5 Prior to the commencement of development details of screen walls, fences or such similar structures shall be agreed in writing by the Local Planning Authority, and shall be erected before the occupation of any of the dwellings hereby approved and maintained in the agreed positions.

- 6 Wheel washing or other cleaning facilities for vehicles leaving the site during construction works shall be installed prior to the commencement of any building works on site, and shall be used to clean vehicles leaving the site.
- 7 The development shall proceed in accordance with Flood Risk details approved under application reference EPF/1769/13, unless otherwise agreed in writing by the Local Planning Authority.
- 8 All construction/demolition works and ancillary operations (which includes deliveries and other commercial vehicles to and from the site) which are audible at the boundary of noise sensitive premises, shall only take place between the hours of 07.30 to 18.30 Monday to Friday and 08.00 to 13.00 hours on Saturday, and at no time during Sundays and Public/Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.
- 9 The development shall proceed in accordance with surface water details submitted under application reference EPF/1994/13, unless otherwise agreed in writing by the Local Planning Authority.
- 10 The development shall proceed in accordance with turning circle details submitted under application reference EPF/1994/13, unless otherwise agreed in writing by the Local Planning Authority.
- 11 All material excavated from the below ground works hereby approved shall be removed from the site unless otherwise agreed in writing by the Local Planning Authority.
- 12 Notwithstanding the detail shown on the approved plan 7684/003 Rev. F, details of the parking layout proposed along Manor Road and at the side of the proposed access road shall be submitted to the Local Planning Authority for approval in writing. The development shall proceed with the approved details.
- 13 The proposed access onto Grange Crescent shall be laid out in accordance with the details shown on drawing no 09.07.1633. The vehicular access shall only be made available for use by emergency services vehicles and shall not be used by any other motorised vehicle.
- 14 The off-street parking areas shown on drawing nos. JGEF/10/02 and JGEF/10/10 shall be provided prior to the occupation of the development hereby approved and thereafter only be used for the parking of vehicles of the occupants, visitors and callers at the development.

Subject to the applicant entering into a Section 106 Legal Agreement for the developer contributing in respect of the following:

- 1. Financial education contribution of £23,913.00 (Calculated using April 2010 cost multiples and index linked from this date using PUBSEC index)**
- 2. The legal agreement to secure the applicant's right to access land in the ownership of London Underground (within red line application site) to allow continued vehicle and pedestrian access to the site.**

3. **Financing alterations to the public highway in Manor Road involving a redesigned/ improved priority junction, works taking place in public highway including any area to become public highway, details of a junction protection scheme (Traffic Regulation Order), imposed visibility at the junction for all highway users including a suitable pedestrian crossing point.**
4. **The provision of vouchers to the future occupiers of the proposed dwelling, providing free access to public transport services for an agreed period of time.**

This application is before this Committee for the following reasons:

- *since it is an application for development of a significant scale and/or wider concern and is recommended for approval (Pursuant to Section P4, Schedule A (c) of the Council's Delegated Functions); and*
- *since it is an application for residential development of 5 dwellings or more and is recommended for approval (Pursuant to Section P4, Schedule A (d) of the Council's Delegated Functions).*

Description of Proposal:

This application seeks a minor material amendment to an approved development of 14 flats within the site.

The amendment to the scheme comprises:

- The enlargement of the approved basement area, such that it would occupy most of the site area (the approved basement covered an area of 1,258m² and the basement area now proposed is 1,656m²); and
- The omission of the entrance door previously approved at lower ground floor level.

Full detail of the proposal is provided within the appended report to Committee which relates to the original approval.

Description of Site:

The application site was formerly occupied by two detached dwellings.

A full site description is provided within the appended report to Committee.

Relevant History:

EPF/0320/10. Demolition of two houses and erection of a two storey building comprising of 14 two bed flats and 35 car parking spaces. Approved 08/02/2011. **This consent has been commenced and therefore remains capable of implementation, despite the passage of time that has lapsed since its approval.*

EPF/0495/14. Non material amendment to EPF/0320/10 (Demolition of two houses and erection of a two storey building comprising of 14 two bed flats and 35 car parking spaces) Non material amendment seeks the addition of a planning condition requiring development to proceed in accordance with the previous approved plans). Approved 27/03/2014.

(adjacent site) EPF/2156/13. Demolition of existing Taxi Office and erection of new three storey end of terrace building comprising of a lock up shop (for purposes within Use Class A1, retail), and 2 no. one bedroom flats over, and erection of new boundary wall and gate serving development to the rear. Approved 09/12/2013.

Policies Applied:

Adopted Local Plan and Alterations

H2A – Previously Developed Land
H3A – Housing Density
H4A – Dwelling Mix
H5A – Provision for Affordable Housing
H6A – Site Thresholds for Affordable Housing
H7A – Levels of Affordable Housing
CP1 – Achieving Sustainable Development Objectives
CP2 – Protecting the Quality of the Rural and Built Environment
CP3 – New Development
CP4 – Energy Conservation
CP5 – Sustainable Building
DBE1 – Design of New Buildings
DBE2 – Impact of New Buildings
DBE8 – Amenity Space Provision
ST4 – Highways Considerations
ST6 – Car Parking Standards
LL10 – Adequacy of Provision for Retention
LL11 – Landscaping Schemes

Summary of Representations:

Notification of this application was sent to Chigwell Parish Council and to 9 neighbouring properties. A public notice has also been displayed.

The following representations have been received:

CHIGWELL PARISH COUNCIL. No objection.

26 GRANGE CRESCENT. Comment. At the end of my garden is an oak tree, protected by TPO/EPF/95/10. Please could you ensure that the roots are adequately safeguarded.

Issues and Considerations:

When planning permission was given for this development the main issues that were given consideration were:

1. The acceptability of the principle of residential development on this site;
2. The impacts of the proposed development on the amenities of the occupiers of neighbouring dwellings;
3. The impacts of the proposed extensions on the character and appearance of the area;
4. The provision of affordable housing;
5. The acceptability of the proposed parking and access;
6. Landscaping;
7. Refuse; and
8. Education contribution

Accordingly, it is now necessary to consider the impacts of the proposed changes to the development on those material planning considerations. Please do refer to the full appraisal of material planning considerations contained within the appended report.

The proposed increased floor area would provide additional storage for the flats and would not result in an increase to the number of dwellings accommodated within the site. The physical changes to the exterior of the building are minimal and accordingly it is not considered that there would be any material harm in relation to the principle of the development, its impact on neighbouring occupiers, its impact on the character and appearance of the area or the lack of requirement for affordable housing to be provided.

Parking and Access

In terms of parking and access, parking for 35 vehicles would be retained (31 within the basement and 4 at surface level). This provision remains as previously proposed and the Council's normal standard is met in terms of the size of spaces and the distances between them. Vehicular access would remain as previously proposed.

Landscaping

Concern has been made by the occupiers of 26 Grange Crescent regarding the impact of the enlarged basement on the protected oak tree at the rear of that property. However the enlargement of the basement proposed as an amendment to the approved scheme is adjacent to 111 Grange Crescent. The Council's Tree and Landscape Officer has been consulted on this proposed development and raises no objection.

Refuse

Provision is made for the storage of 9 x 1100 litre, 2 x 340 litre and 5 x 190 litre bins at surface level adjacent to the site entrance.

Education Contribution (and other planning obligations)

The Applicant is working with officers of the Council's Legal Service section to submit a variation to require the planning obligations secured by the previous permission carry forward to this revised development. It is expected that their undertaking will be submitted prior to the date of the Committee meeting and will include those items listed on the front sheet of this report.

Conclusion

In conclusion, it is considered that the changes to the proposed development are such that they would not cause detrimental harm. It is, therefore, recommended that planning permission be granted, subject to the legal agreement referred to in this report and also any planning conditions imposed on the original; consent which relate to outstanding matters.

The original report (ref EPF/0320/10) is appended below:

Subject to the applicant entering into a Section 106 Legal Agreement for the developer contributing in respect of the following:

- 5. Financial education contribution of £23,913.00 (Calculated using April 2010 cost multiples and index linked from this date using PUBSEC index)**

6. **The legal agreement to secure the applicant's right to access land in the ownership of London Underground (within red line application site) to allow continued vehicle and pedestrian access to the site.**
7. **Financing alterations to the public highway in Manor Road involving a redesigned/ improved priority junction, works taking place in public highway including any area to become public highway, details of a junction protection scheme (Traffic Regulation Order), imposed visibility at the junction for all highway users including a suitable pedestrian crossing point.**
8. **The provision of vouchers to the future occupiers of the proposed dwelling, providing free access to public transport services for an agreed period of time.**

This application is before this Committee for the following reasons:

- *since it is an application for commercial development and the recommendation differs from more than one expression of objection (Pursuant to Section P4, Schedule A (f) of the Council's Delegated Functions);*
- *since it is an application for development of a significant scale and/or wider concern and is recommended for approval (Pursuant to Section P4, Schedule A (c) of the Council's Delegated Functions); and*
- *since it is an application for residential development of 5 dwellings or more and is recommended for approval (Pursuant to Section P4, Schedule A (d) of the Council's Delegated Functions).*

Description of Proposal:

This application seeks full planning permission for the erection of two blocks containing 14 flats and duplex apartments (12 x 2 bed and 2 x 2 bed plus a study). The blocks would be two and a half storeys above ground level, with some additional accommodation (parking and the lower ground floor of one duplex) being provided at basement level.

The front block would sit back from Grange Crescent by a distance of approximately 9 metres. It would have two distinct elements, joined by a lift tower/stairwell. The rear block would be positioned close to the boundary with the Tennis Club and comprise three distinct blocks, also joined by lift towers/stairwells. Communal amenity space would be provided between the blocks and adjacent to the site boundary with 111 Grange Crescent.

The building would have a maximum height of approximately 9.8 metres above ground level with the underground car park area extending approximately 2.8 metres below ground level).

Private amenity space for the development would be provided in the form of communal space between the buildings and boundary with 111 Grange Crescent and private space in the form of ground level terraces attached to specific flats and balconies in the north facing elevation of the northern block that would overlook Chigwell Lawn Tennis Club.

The development would include 31 car parking spaces (including 3 disabled bays) with additional areas for motorcycle and cycle parking sited within an underground car park located beneath the rear block. Four visitor spaces and refuse storage would be located at ground level adjacent to the car park entrance.

A narrow access is proposed alongside the railway to the east of the application site, to provide vehicular access to the site from Manor Road. Access for emergency services only is to be via the existing vehicular access onto Grange Crescent.

Description of Site:

The application site comprises an area of approximately 0.235m² and is presently occupied by two detached dwellings, accessed from Grange Crescent. Manor Road – the B173 is a two-way single carriageway and serves a local route that runs in an east/west direction linking the A1112 Romford Road with the A113. The land uses that front onto the road include agricultural, industrial, residential and commercial. The access into the site from Manor Road slopes gradually downwards from west to east.

Relevant History:

EPF/0715/05. Outline application for three bedroom bungalow. Refused 10/06/05.

Reason: Inadequate retention of trees that make valuable contribution to the site, inadequate access and sight lines from Grange Crescent; loss of amenity to residents of neighbouring properties (visual impact).

EPF/1655/07. Demolition of two houses and erection of a three storey building comprising 21 no. 2 bedroom flats and 2 no. 1 bedroom flats. Withdrawn 22/11/07.

EPF/1279/08. Demolition of two houses and erection of a three storey building comprising of 20 no. 2 bedroom flats and 3 no. 1 bedroom flats. (Revised application). Refused for the following reasons:

- 1 *The proposal, by reason of its density, design, appearance and size, particularly in respect of its height, would be out of keeping and an unsympathetic building in the local area and unreasonably dominate the aspect as viewed from residents of adjacent residential properties to the west in this part of Grange Crescent. The proposal would be contrary to policies DBE1 and DBE2 of the adopted Local Plan and Alterations.*
- 2 *The proposal does not provide sufficiently for the future children's educational needs associated with this development, contrary to Policy CP1 (i) of the Adopted Local Plan and Alterations.*

Appeal submitted and dismissed.

Adjacent site – Chigwell Lawn Tennis Club

EPF/2551/07. Erection of floodlights to one tennis court. Approved 06/02/08. Use limited to between the hours of 0800 – 2200.

Policies Applied:

East of England Plan

H2 – Affordable Housing

T14 – Parking

ENV7 – Quality in the Built Environment

LA1 – London Arc

Adopted Local Plan and Alterations

H2A – Previously Developed Land

H3A – Housing Density

H4A – Dwelling Mix

H5A – Provision for Affordable Housing

H6A – Site Thresholds for Affordable Housing

H7A – Levels of Affordable Housing

CP1 – Achieving Sustainable Development Objectives

CP2 – Protecting the Quality of the Rural and Built Environment

CP3 – New Development

CP4 – Energy Conservation

CP5 – Sustainable Building

DBE1 – Design of New Buildings

DBE2 – Impact of New Buildings

DBE8 – Amenity Space Provision

ST4 – Highways Considerations

ST6 – Car Parking Standards

LL10 – Adequacy of Provision for Retention

LL11 – Landscaping Schemes

Summary of Representations:

Notification of this application was sent to Chigwell Parish Council and to 60 neighbouring properties.

The following representations have been received:

CHIGWELL PARISH COUNCIL: The Council supports this application on the grounds that it is a much improved proposal, traffic congestion in the local area will be reduced and previous concerns regarding potential overlooking and overdevelopment have been addressed.

20 expressions of objection have been received from the following local residents:

11, 20, 21, 22, 23, 24, 26, 28, 31, 33, 48, 49, 70, 71, 82, 84, 89, 97, 107, 109 Grange Crescent

The comments are summarised below:

Parking and Highways – Emergency entrance will still provide access from Grange Crescent. Plans show vehicle access from Grange Crescent. Parking in Grange Crescent is already a problem and it will be made worse by the development. This could harm the character of the Crescent. Construction traffic will cause access problems both generally and possible for emergency services. The addition of 30 more cars at this end of the road will put undue pressure on the very tight minor roadway. Grange Crescent is already used by more than 200 cars – additional traffic will endanger residents and pedestrians. There is a poor line of sight pulling out from Grange Crescent into Manor Road. Proposed level of parking is insufficient. People may not park in the designated area and may park in Grange Crescent. Opportunities for parking in Grange Crescent have already been significantly reduced by the introduction of double yellow lines. Parking problems hinder access to the Crescent by emergency and refuse vehicles. Written agreement from TfL for the development to use the access should be provided prior to any further progress and should be available for public viewing. The location plan does not show the lay-by, which will reduce visibility for users of the junction. The 'private drive' referred to in the access statement was a well used right of way until it was closed off by the owners of 115 Grange Crescent in the 1970's.

Neighbouring Amenity – Concerned about the close proximity of the new buildings at 37 metres from the rear of houses in Grange Crescent (only 4 metres beyond the back fence). Potential loss of light to surrounding houses and the tennis courts due to the 3 and in parts 4 storey height of buildings. Issue of 'Right to Light'. Inclusion of balconies will exacerbate noise from the development. The applicant states that noise will be reduced by the trees – their presence is seasonal and for 8 months of the year there is no foliage. Development would reduce views from all east facing houses in Grange Crescent with south westerly gardens. Distance between the site and properties in Grange Crescent referred to in the Design and Access Statement is misleading as many houses have been allowed to extend to the rear. 22/24 Grange Crescent – the proposed development will overlook our garden directly and will result in a loss of privacy and light. It will be bulky, overbearing and will overshadow adjoining sites. 26 Grange Crescent – loss of privacy.

Design – The previous plans have been scaled back to 2 two storey buildings consisting of 14 flats – a lot of work has been done to produce a design which will be attractive for new residents whilst limiting the impact to existing neighbours. There are discrepancies in the submissions as to whether the development would be 2, 3, or 4 storeys in height. The building will be overbearing and out of scale with neighbouring properties.

Character and Appearance – All properties within Grange Crescent are character houses (built in the 1930's Arts & Crafts revival style/built in the 1920's in 'mock-Tudor' style), there are no blocks of flats, and nor should there be. The building of flats with underground car parking would be out of character with the existing type of property in Grange Crescent. This development will set a precedent for allowing future developments – only houses should be built on this land – the block of flats will be harmful to the semi-rural character. The proposal would be an overdevelopment of the site – purely for financial gain. Character of the area has already been harmed by the development of blocks of flats at Oak Lodge Avenue/Manor Road and Mount Pleasant Road/Manor Road.

Trees – The street survey was undertaken in September 2007 – things could have changed since then and a new survey should be undertaken. Trees may be damaged during construction

Impact on public sewers– cumulative impact of this development, that at Jennikings, Manor Hall will stretch public services beyond the limit – what provision is made for schools, medical services, policing and council commitments? The secondary school needs in the area are inadequate – from personal experience it can be difficult to get into West Hatch which is the nearest secondary school.

Other – additional strain of the sewer system. The creation of dust, mess and noise. Query the capacity of drainage on site for additional surface run-off. Water pressure. Will reduce property values. May lead to increased crime. Impact on nature and wildlife.

Issues and Considerations:

The main issues in this case are:

1. The acceptability of the principle of residential development on this site;
2. The impacts of the proposed development on the amenities of the occupiers of neighbouring dwellings;
3. The impacts of the proposed extensions on the character and appearance of the area;
4. The provision of affordable housing; and
5. The acceptability of the proposed parking and access.

The Principle of the Development

Policy H2A of the Local Plan Alterations states that the re-use of previously developed land will be encouraged when considering residential use. The proposed development makes efficient use of an existing Brownfield site, this scheme therefore accords with this policy. Government advice in PPS3 states that housing densities should be at least 30 dwellings per hectare, to ensure the most efficient use of land. In this instance, the density of the development would be approximately 104 dwellings per hectare. Making efficient use of land by building flats inevitably leads to higher densities and will be higher than prevailing densities of housing in the surrounding area. Having regard to the central location and the accessibility of the site by public transport, it is considered that the density level may be acceptable, subject to there being adequate space on site for the provision of off-street parking and private amenity space and the development not being out of keeping with the pattern of surrounding development. These matters will be considered further in this report.

Neighbouring Amenity

As the site is located within a built up residential area, it is in quite close proximity to a number of residential properties. The most affected properties would be 111 Grange Crescent, the garden of which runs along the southern boundary of the site and 22, 24, 26 and 28 Grange Crescent, the rear boundaries of which abut the site along its eastern boundary. The adjacent non-residential neighbour affected by the development is Chigwell Lawn Tennis Club. Several letters of objection from neighbours have been received and the impact of the proposed development will differ between properties. Accordingly, the impact on the different groups of properties will be considered in turn.

111 Grange Crescent

The density of the proposed development has been considerably reduced following the last planning application and as a result the aspect viewed from the neighbouring property is greatly improved. Whilst, at its closest point, the front block would be positioned approximately 4 metres from the site boundary, the bulk of the development would be considerably further away. The garden of this neighbouring dwelling would be alongside the communal amenity space within the development site.

Balconies and windows within the blocks would either be located sufficient distance from this neighbouring property not to cause any material overlooking, or they would be screened, obscure glazed or angled away to prevent any direct overlooking.

22, 24, 26, 28 Grange Crescent

These properties have gardens of approximately 30 metres in length. The impact of the building would be reduced by the screening present along the site boundary, which is mainly present within the gardens of neighbouring dwellings and therefore to be retained. There is considerable screening in the form of planting along the boundary of the site with these properties. Windows in the upper floors of the elevation facing towards this property would be obscure glazed and there would not, therefore, be any material overlooking of these neighbouring gardens.

The previously application for this site proposed a development which the Committee and the Planning Inspectorate found to be harmful to the outlook of the occupiers of 22, 24 and 26 Grange Crescent. This application proposes a lowered building height. The scale of the development along this boundary has been considerably reduced. Previously a continuous elevation of approximately 40 metres was positioned to the rear of 22, 24 and 26 Grange Crescent. This revised scheme proposes a more open aspect to this boundary, with the rear block being situated to the rear of no. 22 and having a depth of approximately 12 metres at first floor level and the front

block (located to the rear of nos. 26 and 28) having a depth of approximately 21 metres, broken by the lift tower link in the middle.

It is considered that this revised proposal addresses that harm identified in relation to the previous application. This site layout would enable an adequate level of outlook to be retained by these neighbouring residents, bearing in mind the separation distance and the height of the proposed development.

Chigwell Lawn Tennis Club

The northern block of the development would be sited approximately 3.5m from the site boundary with Chigwell Lawn Tennis Club. The general eaves height of the block adjacent to the nearest tennis court would be 5.2m. The roof of the block would slope away from the boundary and have a ridge height of 8.9m. Gabled dormer windows serving a bedroom of the top floor flats would be sited adjacent to the apex of the roof and first floor flats would have balconies. This relationship has the potential to affect the tennis courts and their contribution to the locality as a recreational facility. Since the distance of the block from the tennis courts would be some 6m there would not be any excessive loss of light caused by it that could be harmful to the functioning of the tennis club facility. There would certainly be no overbearing impact.

The club and the adjacent tennis courts in particular would be highly overlooked from 4 flats in the upper floors of the block. However, the facility is not expected to enjoy the same degree of privacy as a private garden of a house. Indeed, it is not unusual for tennis courts to be found in very public places such as parks where their use is observed by large numbers of people without affecting their functioning. Given the limited sensitivity of the tennis club use to overlooking, the degree of overlooking that would result would not be harmful to it. Overall, the proposal would cause no harm to the functioning of the tennis club and therefore would not be harmful to its recreational and amenity value. Indeed, the development would afford the use some benefit in terms of some limited additional security.

Amenity for Future Occupiers

Occupiers of the proposed development would have acceptable provision of communal amenity space and adequate levels of amenity within the flats/duplexes. Due to the site levels, the bedrooms in the duplex with a lower ground floor level will receive sufficient light. Windows and balconies within the development have been orientated to minimise direct overlooking. One of the tennis courts within Chigwell Lawn Tennis Club has permission for the erection of 6.7 metre high floodlit columns. However, as this court is furthest from the development (approximately 3.35m to the site and 42.5 metres to the building) there would be no material harm.

Impact on Appearance of the Area

The area immediately surrounding the application site is surrounded by fairly low density housing, with most properties in Grange Crescent being semi-detached two storey dwellings. Notwithstanding the pattern of surrounding development, the application site is somewhat alienated from the street scene, with a frontage of only approximately 10 metres onto Grange Crescent. The front building itself would be set back from this boundary by approximately 9 metres. Accordingly, whilst the development would be of a higher density than the surrounding pattern of development, it is considered that the relationship of the site with the street scene is such that it would not appear overly conspicuous or out of keeping.

The overall appearance of the development would be a number of distinct blocks, two and a half storeys in height with traditional hipped pitched roofs which are in keeping with the style of surrounding development. In comparison to the previous scheme, these distinct blocks are more in

keeping with the pattern of the surrounding development, being of a scale which is not dissimilar to that of the surrounding dwellings.

The parking provision within the site will be sited mainly under the building; therefore amenity space provision will cover the remainder of the site. The area surrounding the site, if attractively landscaped, will provide adequate amenity space for the proposed new dwellings. Suitable landscaping may be controlled by the use of a planning condition.

Affordable Housing

The Council's requirement for affordable housing within this part of the District is that for developments comprising 15 or more units, 40% of the units should be provided on site as affordable housing.

Accordingly, as this application proposes only 14 units, there is no requirement for the provision of affordable housing. Consideration must be given as to whether the development of the site for 14 units makes the best use of urban land, as it would not be acceptable for the site to be underdeveloped in order for the applicant to avoid making a contribution towards affordable housing. However, in this instance, having regard to the constraints of the site, in particular, the Inspector's view (that the previously proposed density of approximately 100 dwellings per hectare was excessive and unsympathetic to the neighbouring residential development), it is not considered that the site is being underdeveloped. The applicant has had regard to the previous refusal when submitting this greatly reduced proposal. At a density of 59.5 dwellings per hectare, this revised scheme accords with national planning policies contained within PPS3.

Highways, Access and Parking

The only vehicular access into the site would be along the eastern boundary, adjacent to the railway line and the private road from Manor Road into the site measures at a distance of some 55 metres. This land which provides access into the site is within the ownership of London Underground and accordingly, the Council would need to secure a legal confirmation of the applicant's right to access this land to a degree of permanence over time to ensure that there is continuing vehicle access to the site. The applicants have confirmed that there is such an agreement in place. However, this should be included within a Section 106 legal agreement, to ensure that continued rights of access are secured.

Furthermore, in order to facilitate the access onto this land from Manor Road, a number of alterations are proposed to the public highway. These works would take place outside of the application site and do not, therefore, form part of this planning application. Discussions have been undertaken with the County Council, who are satisfied with the proposed works. The completion of these works shall also be secured within a Section 106 legal agreement, should planning permission be approved. The works to the highway would involve alterations to the access road itself to allow for the provision of parking spaces for a taxi company which operates from the junction of the access road with Manor Road and currently park haphazardly here. Further alterations are proposed to Manor Road itself in order to secure sufficient visibility at the junction. This would involve alterations to the northern and southern edges of the carriageway and alterations to the position of road markings.

The Highway Authority has not raised any objections to the access arrangements subject to a legal agreement and conditions, although they have commented that further consideration will need to be given to the proposed parking along Manor Road, as the spaces shown on the submitted plan would not be of a sufficient size. The benefits of the proposal include the taxi firm having improved parking provision and improved access to the public highway, without further burden to Grange Crescent.

The proposed off-street parking provision is 31 car parking spaces (including 3 disabled bays) with additional areas for motorcycle and cycle parking sited within an underground car park located beneath the rear block. Four visitor spaces and refuse storage would be located at ground level adjacent to the car park entrance. This provision accords with the revised parking standards giving just over 2 spaces per flat in a location that is adjacent to an underground station.

Concern has been raised by local residents regarding the potential for a pedestrian access onto Grange Crescent. The reason for the concern is that pedestrian access would encourage residents to park in Grange Crescent and walk into the development. It is considered that this would be unlikely, given the provision of secured parking available within the site. Furthermore, such a condition would be likely to discourage the future occupiers of the development to walk and use public transport having regard to the nature of the access road. It is, therefore not considered to be reasonable or necessary to impose a condition preventing pedestrian access onto Grange Crescent. However, it is suggested that a condition be imposed to limit the use of the vehicle access onto Grange Crescent to emergency service vehicles.

Other Matters

Landscaping

Although there are several established trees within the site boundaries, none of these trees are protected by a Tree Preservation Order. It is assessed that the foundations for the building will come within the Root Protection Zone (RPZ) for established trees that make a valuable contribution to the visual amenities of the area. Therefore, should planning permission be approved, further details relating to methodology for all works in order to protect established trees on site during construction and other means of soft landscaping to offer screening from the development to surrounding dwellings will additionally be required. This can be achieved by appropriate landscaping conditions. The conditions shall also ensure all of the trees are retained thereafter.

Refuse

Enclosed refuse bin storage is provided and appropriately sited within the car park entrance of the building. Additional details for collection of refuse that includes an appropriate area for large turning vehicles will be required and this can be achieved by an appropriate condition.

Education contribution

Essex County Council (ECC) has advised that if planning permission is granted they would seek a contribution of £6,195 towards Early Years and Childcare provision in the locality and £17,718 towards Secondary Education provision. Due to a surplus of primary school places in the locality they would not seek a contribution towards primary education.

ECC have further advised with regard to secondary provision that the local school for this development would be West Hatch School and the 2008-2013 Essex School Organisation Plan (SOP) shows that there is currently a deficit in places at this school. A deficit will remain throughout the SOP period and therefore additional places are required at the School and the proposed development will add to that need. Due to the position of the proposed development in relation to the M11 there are no suitable alternative secondary schools in Essex. The development falls within Grange Hill Ward and there are no available early years and childcare provision within the Ward.

There has been concern raised in respect of previous applications within this part of the District that the development site would be outside the catchment area for West Hatch School and as a result it is not necessary, or reasonable for the applicant to make a contribution on this basis. The

County Council have nevertheless advised that the additional funding will be required to facilitate the provision of additional spaces at the School.

Conclusion

In light of the above appraisal, the proposal to erect a flatted development comprising of 14 flats is, on balance, reasonable in design, appearance and siting. It is considered that the proposal will not result in material harm to surrounding occupier's amenity. Vehicular traffic will be accessed directly from Manor Road; hence will not impact on residents in Grange Crescent. Residents will see a noticeable change in their outlook from their properties and a judgement has to be made whether this causes demonstrable harm to their amenity. On balance, Officers are of the opinion that any overbearing impact will be to the rearmost parts of their properties rather than to the most useable areas of their gardens or houses and having regard to this and the revised design (particularly in terms of its height and footprint) of the development, it is not considered that there would be a material loss of amenity which would justify the refusal of planning permission.

Accordingly, it is recommended that planning permission be granted, subject to the completion of the Section 106 legal agreement to secure the continued access over the land on the eastern boundary of the site, the payment of a contribution towards education services within the local area and improvements to the public highway.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: Mrs Katie Smith
Direct Line Telephone Number: 01992 564103***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk

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Epping Forest District Council

AGENDA ITEM NUMBER 15



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Application Number:	EPF/0492/14
Site Name:	69 Queens Road, Buckhurst Hill IG9 5BW
Scale of Plot:	1/1250

Report Item No: 15

APPLICATION No:	EPF/0942/14
SITE ADDRESS:	69 Queens Road Buckhurst Hill Essex IG9 5BW
PARISH:	Buckhurst Hill
WARD:	Buckhurst Hill West
APPLICANT:	Mrs Sevi Stamboliyski
DESCRIPTION OF PROPOSAL:	Ground floor rear extension.
RECOMMENDED DECISION:	Grant Permission (With Conditions)

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniTelM_websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=562513

CONDITIONS

- 1 The development hereby permitted will be completed strictly in accordance with the approved drawings nos: SEV/100 B and the submitted location plan

This application is before this Committee since the recommendation is for approval contrary to an objection from a local council which is material to the planning merits of the proposal (Pursuant to The Constitution, Part Three: Planning Directorate – Delegation of Council function, Schedule 1, Appendix A. (g))

Description of Site

Queens Road is located on the High Road within the built up area of Buckhurst Hill. The existing building is a two storey terrace property situated within a narrow, long plot. The site backs onto neighbouring residential properties on Kings Avenue. The application site is not located within the boundaries of the Metropolitan Green Belt and it is not in a conservation area.

Description of proposal

This is an application for a single storey rear extension to the Queens Road Tea Rooms. The extension is 5m from the original rear elevation and has a flat roof height of 3.1m. It has already been constructed.

Relevant History

EPF/1487/13 – Single storey rear extension – Approved

Policies Applied

CP2 – Protecting the Quality of the Rural and Built Environment
DBE10 – Design of Residential Extensions
DBE9 – Impact on amenity

The National Planning Policy Framework (NPPF) has been adopted as national policy since March 2012. Paragraph 214 states that due weight should be given to the relevant policies in existing plans according to the degree of consistency with the framework. The above policies are broadly consistent with the NPPF and should therefore be given appropriate weight

Consultation carried out and summary of representation received

6 THE MEADWAY – OBJECTION The extension is now approx. just 1 metre from the boundary of the residential house adjacent. Comments were made about the new extraction system; however this is the subject of a separate planning application.

4 KINGS AVENUE – comments made relate to the extraction system, which are the subject of a separate application

2 KINGS AVENUE – OBJECTION – The extension is very close to the boundary, which can be seen from no.2 and appears out of place. The extension also causes overlooking and is bulky and overbearing. Other comments have been made, some relate to the new extraction system which is the subject of a separate application and others are not relevant planning considerations.

2a KINGS AVENUE – OBJECTION – The extension causes a loss of privacy. There is more noise disturbance due to the increased dining area. Comments also made on the extraction system.

BUCKHURST HILL PARISH COUNCIL – OBJECTION – an overdevelopment of the site.

Issues and considerations

This application is for the rear extension only and does not include the extraction system which is the subject of a separate application. Therefore, only the rear extension is assessed in this application.

The main issues to consider when assessing this application are the effects of the proposed development on the amenities of neighbours and the design in regards to the existing building and its setting.

Neighbour amenity

The applicant already has planning permission for a 4m deep single storey rear extension, granted under EPF/1487/13. This application is therefore 1m beyond the extant consent on the site and is the same height and width. The extension does bring the rear building line closer to the neighbours backing onto Kings Avenue. A distance of 1.5m separates the extension from the side boundary of the rear garden to 2 and 2a Kings Avenue. However given its reasonable height and the large boundary wall, some 2.8m high, in between the properties; it is only partially visible from the rear gardens of these neighbours. Given its single storey design the extension does not harm the privacy of the neighbours on Kings Avenue in any way. As such the development does not significantly harm the living conditions of any neighbours.

Design

The extension is of a conventional design which respects the existing building. Furthermore it is not visible from public areas of the street scene and therefore will not appear overly prominent.

Conclusion

The extension does not harm the living conditions of the neighbouring properties and is of a conventional design. Therefore the proposal has demonstrated compliance with policies DBE9, DBE10 and CP2 of the Adopted Local Plan and Alterations.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

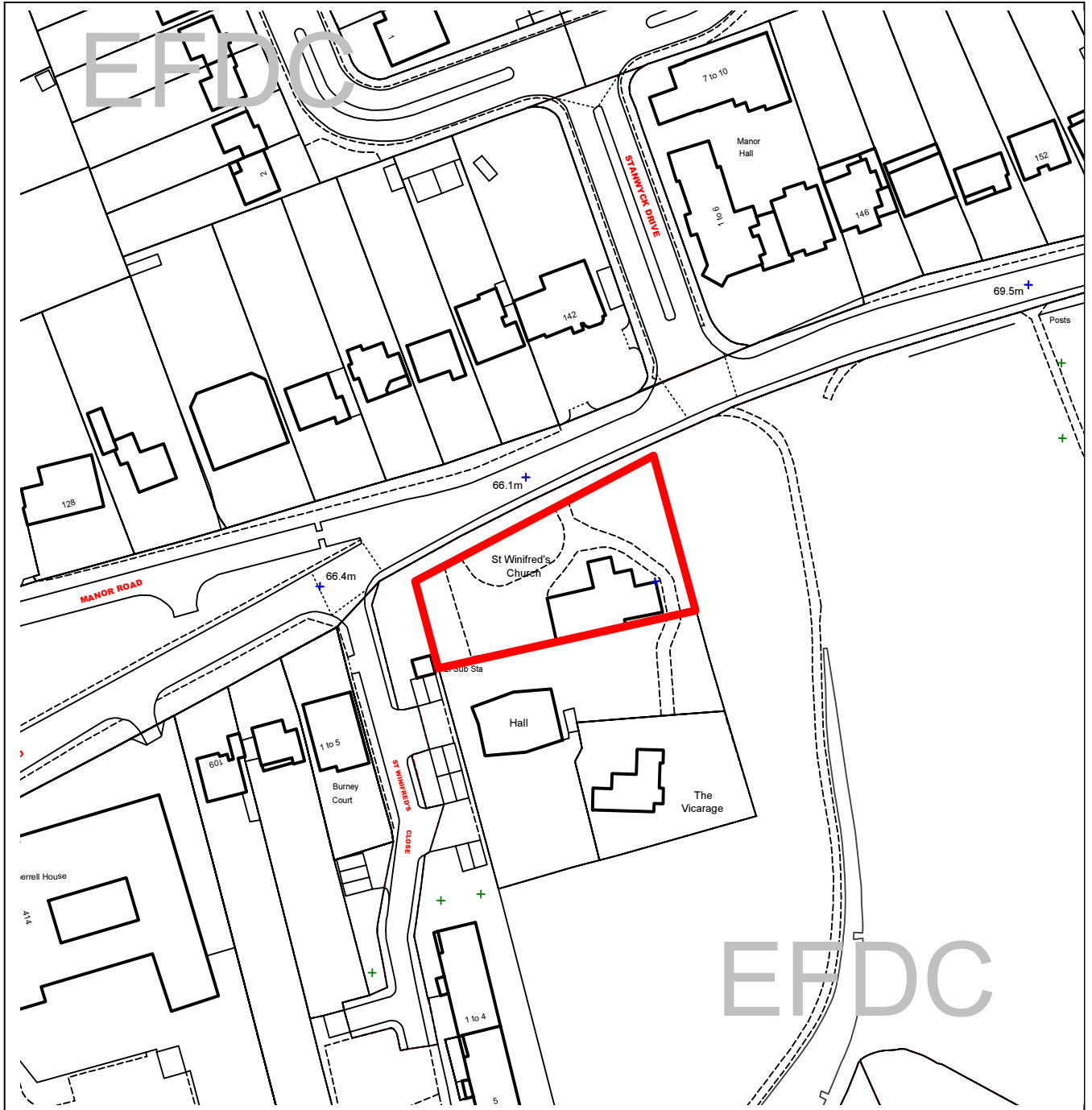
***Planning Application Case Officer: James Rogers
Direct Line Telephone Number: 01992 564 371***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk



Epping Forest District Council

AGENDA ITEM NUMBER 16



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Application Number:	EPF/1036/14
Site Name:	St. Winifreds Church, Manor Road Chigwell, IG7 5PS
Scale of Plot:	1/1250

Report Item No: 16

APPLICATION No:	EPF/1036/14
SITE ADDRESS:	St. Winifreds Church Manor Road Chigwell Essex IG7 5PS
PARISH:	Chigwell
WARD:	Grange Hill
APPLICANT:	NET on behalf of CTIL
DESCRIPTION OF PROPOSAL:	Telecommunications installation comprising of the raising of the existing Church Tower by 2.2m so as to house 6 additional antennas and other equipment as part of an upgrade of the existing telecommunications equipment at this church. The existing mock flagpole to be removed.
RECOMMENDED DECISION:	Prior Approval Required and Granted

Click on the link below to view related plans and documents for this case:

http://planpub.eppingforestdc.gov.uk/AniTelM.websearch/ExternalEntryPoint.aspx?SEARCH_TYPE=1&DOC_CLASS_CODE=PL&FOLDER1_REF=562910

CONDITIONS

NONE

This application is before this Committee since a decision on this prior approval application needs to be arrived at in 55 days - and until the consultation period has elapsed the recommendation to grant prior approval approve may a) differ from the views of the local council, and b) be contrary to more than two objections received (pursuant to the constitution part three: planning directorate – delegation of council function, schedule 1 appendix A (f) and (g).

Description of Proposal:

Prior approval determination for a telecommunications installation comprising the raising of the existing church tower by 2.2m so as to house 6 additional antennas and other equipment - as part of an upgrade of the existing telecommunications equipment at the church. The existing flagpole to be removed.

Description of Site:

St Winifreds Church is located on the south side of Manor Road about 100m to the east of the junction with the crossroads with Hainault Road. The church has a square tower from which projects a 4.5m mock flagpole which acts as a telecommunications installation. The church is not a listed building and nor does it lie in a conservation area.

Relevant History:

A telecommunications installation, including a mock flagpole, was first approved at this church in 2001 following the approval of EPF/1170/01.

EPF/1183/04 proposed the extension of the church tower by 5m in height to house telecommunications equipment. This was refused permission on grounds that the extended height of the tower would be out of scale with the height and scale of the church, and would be unduly dominant in the street scene. However, on appeal a planning inspector granted approval to this 5m tower extension, stating that it was not out of scale, and that it was not unusual to find a church tower rising above the general roofline of the area.

Policies Applied:

U5 - masts and aerials under 15m.
NPPF – paras 42 to 46

Background and Summary of Representations:

Telecommunication installations under 15m, such as this one, can be erected under permitted development – however before this right can be exercised a prior approval application has first to be lodged with a Council. A Council can refuse prior approval on planning grounds of siting and appearance, and they must do so in 55 days. If a decision is not issued within 55 days the proposal can be erected as permitted development.

In the light of the above time constraint this report is being presented to the 11/6/14 Committee since the next Committee on 10/7/14 lies outside the 55 day period. Notification of the parish council and 55 neighbours have been carried out with the 21 days consultation period ending on the 6th June. On the date of drafting this report, ie 30/5, no replies have been received, and any responses that are subsequently received will be reported verbally at the Committee.

Issues and Considerations:

It is proposed to extend the height of the square church tower by 2.2m using Glass Reinforced Plastic (GRP), and the total height of the tower and installation would be 14.95m above ground level. The existing tower is relatively short being just 2m higher than the ridge of the church roof. The raising of this tower by 2.2m would not look out of scale or proportion to the church, and the GRP would be painted to match the existing tower. In addition the existing mock flagpole, which is wider than a typical flagpole, would be removed. Taking these factors into account the raised tower will have an acceptable and appropriate appearance, and arguably the appearance of the tower would be improved as a result of this development.

As stated above in the relevant history section a previous proposal to raise the height of the church tower by 5m was granted approval on appeal. However, due in part to changes in technology, the applicants state that an upgrade to this installation can now be obtained by raising the tower by just 2.2m.

Conclusions:

The installation of telecommunications equipment on churches and church towers is generally successful in that the installation can be well hidden from view, and they are easily positioned above the required height. They also can provide some useful income for the maintenance and upkeep of churches and their towers and spires. This current proposal, for a modest increase to the height of the church tower, is appropriate in terms of its form and appearance, and it also

results in the removal of the existing mock flagpole which currently projects 4.5m above the height of the tower. For these reasons, and those set out in the report, it is recommended that a decision letter be sent to the applicants which grants prior approval for this telecommunications installation.

Should you wish to discuss the contents of this report item please use the following contact details by 2pm on the day of the meeting at the latest:

***Planning Application Case Officer: David Baker
Direct Line Telephone Number: 01992 564514***

or if no direct contact can be made please email: contactplanning@eppingforestdc.gov.uk